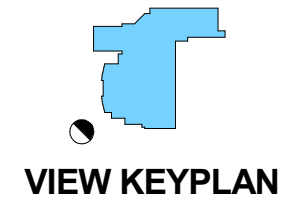




MERCEDES BENZ / AUDI of PALO ALTO
PLANNING REVIEW 11/06/2019

CORNER OF BAYSHORE AND EMBARCADERO
— ZA400 —

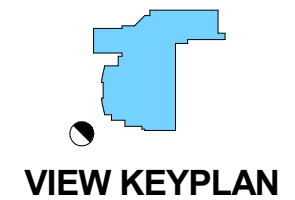


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CORNER OF BAYSHORE AND EMBARCADERO
—ZA400a—



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PLANNING REVIEW 11/06/2019

MB - VIEW FROM SERVICE ENTRANCE
—ZA401a—



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PLANNING REVIEW 11/06/2019

MB ENTRANCE - VIEW FROM BAYSHORE
— ZA 402 —

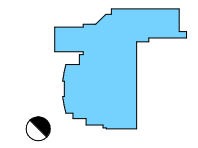


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PLANNING REVIEW 11/06/2019

MB ENTRANCE - VIEW FROM BAYSHORE
— ZA 402a —



VIEW KEYPLAN



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MERCEDES BENZ / AUDI of PALO ALTO
PLANNING REVIEW 11/06/2019

MB MAIN ENTRANCE
— ZA 403 —


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MB MAIN ENTRANCE
— ZA 403a —

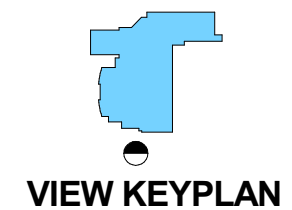
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PLANNING REVIEW 11/06/2019

BAYSHORE ELEVATION
— ZA 405 —

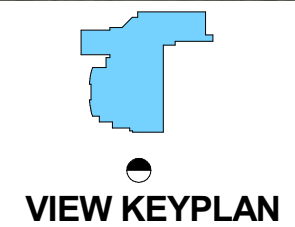


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BAYSHORE ELEVATION
— ZA 405a —

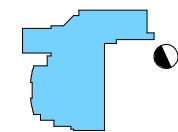


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MERCEDES REAR VIEW
— ZA 406 —



VIEW KEYPLAN

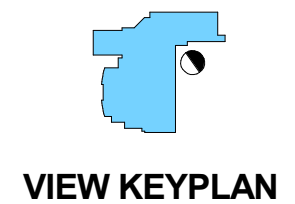


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PLANNING REVIEW 11/06/2019

REAR VIEW FACING CARWASH
— ZA 407 —

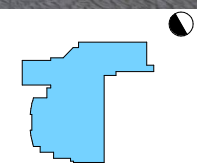


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PLANNING REVIEW 11/06/2019

AUDI REAR CORNER VIEW
— ZA 408 —



VIEW KEYPLAN

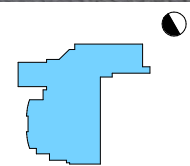
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MERCEDES BENZ / AUDI of PALO ALTO
PLANNING REVIEW 11/06/2019

AUDI REAR CORNER VIEW
— ZA 408a —



VIEW KEYPLAN

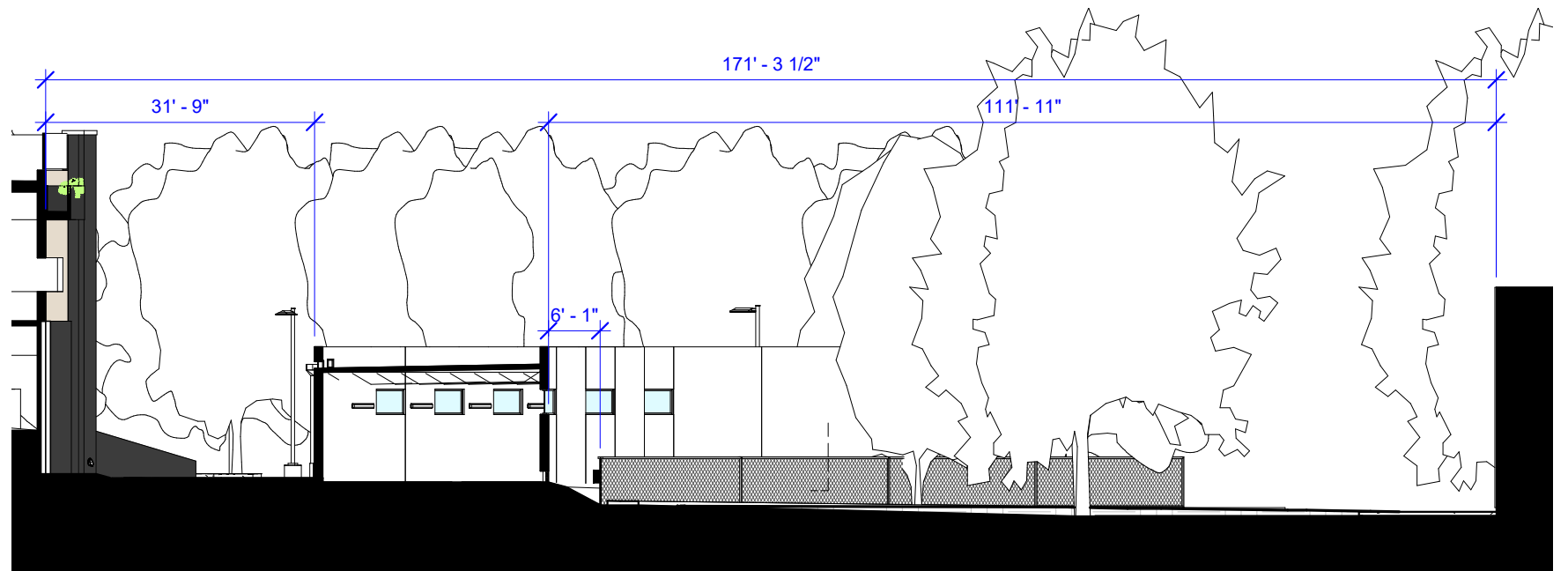
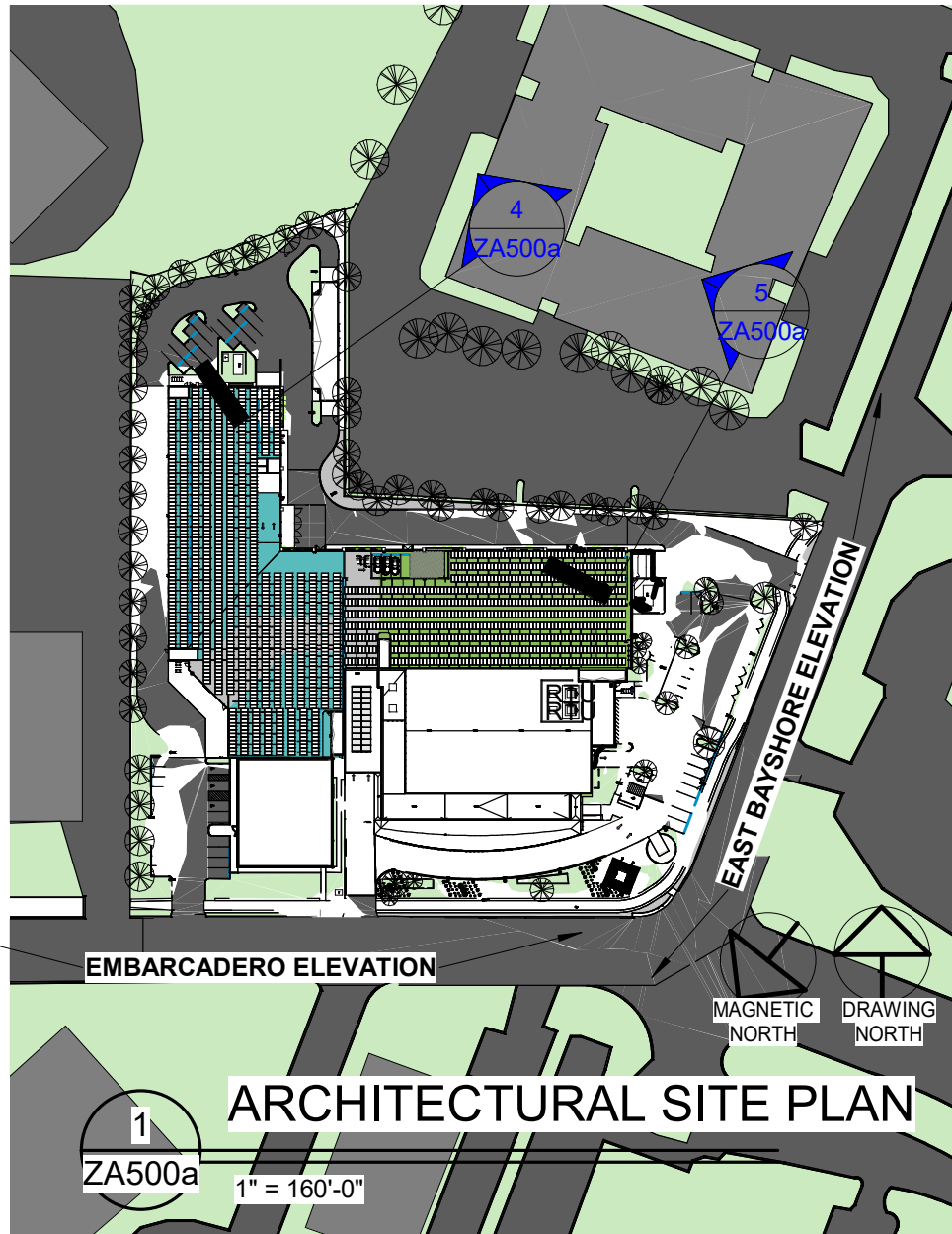


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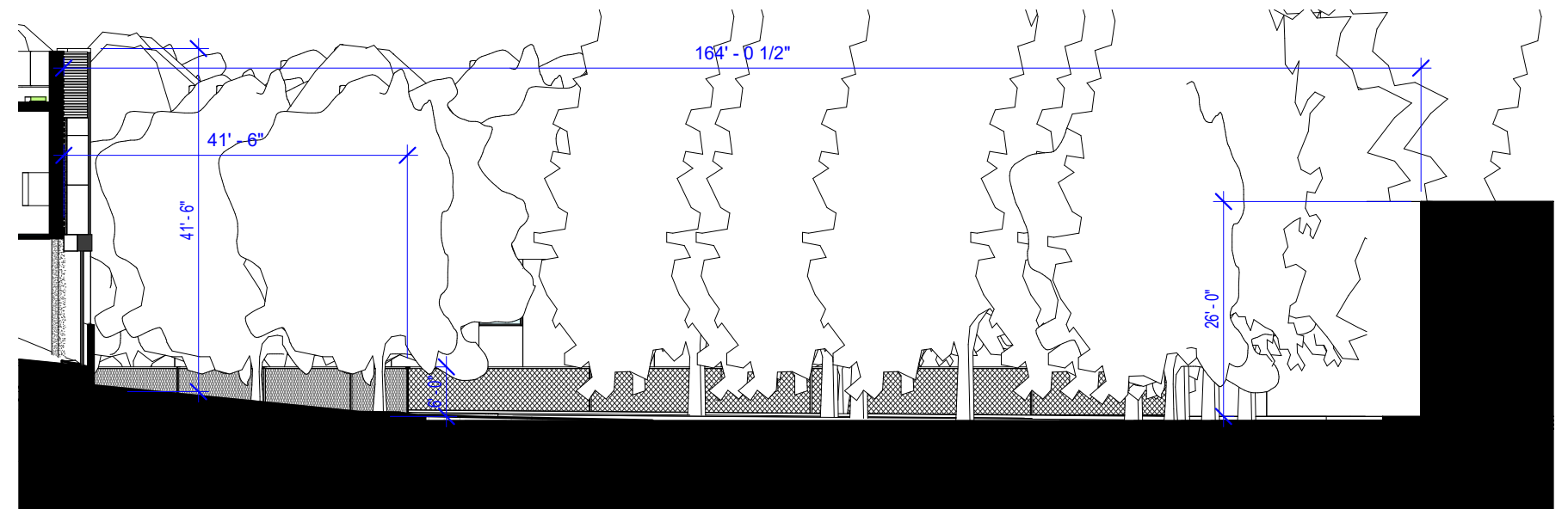








4 Clearance at Carwash
ZA500a 1" = 20'-0"



5 Distance Between Structures
ZA500a 1" = 20'-0"

Table with columns: Compliance Path Verification, Plan Sheet, Spec or Attachment Reference, Code Section Y, N, and various compliance items under sections 5.1 Planning and Design, 5.2 Energy, 5.3 Water Efficiency and Conservation, and 5.4 Material Conservation and Resource Efficiency.

Table with columns: Compliance Path Verification, Plan Sheet, Spec or Attachment Reference, Code Section Y, N, and various compliance items under sections 5.4 Material Conservation and Resource Efficiency, continued, and 5.5 Environmental Quality.

Acknowledgement section with signature lines for Project Manager and Designer, and a section for SCHEDULE A GREEN BUILDING INCREMENTAL VERIFICATION (IVR#112) DURING ROUGH INSPECTION.

Project Address: 2016 CALIFORNIA GREEN BUILDING CODE - TIER 2 PATH CHECKLIST



2016 NONRESIDENTIAL GREEN BUILDING APPLICATION CALGREEN + TIER 2
Version 01/17
Application: This plan sheet is for use by nonresidential new construction or additions of 1,000 SF or greater.

MERCEDES BENZ / AUDI of PALO ALTO
PLANNING REVIEW 11/06/2019

GB-1 NONRESIDENTIAL CALGREEN + TIER 2 APPLICATION
ZA600

GB-1
TIER 2



LEGEND

⊕	FIRE HYDRANT	AC	ASPHALT PAVEMENT	SC0	SEWER CLEAN OUT
—	EDGE PAVEMENT	BFD	BACK FLOW DEVICE	SDCO	STORM DRAIN CLEAN OUT
M	WATER VALVE	FH	FIRE HYDRANT	SDMH	STORM DRAIN MANHOLE
□	METER, PULL BOX	FS	FIRE SERVICE	SMH	SEWER MANHOLE
+	SIGN	GI	GRATE INLET	TRANS	TRANSFORMER
—	CONCRETE	GM	GAS METER	WM	WATER METER
—	BLOCK WALL	GP	GUARD POST	EP	EDGE OF PAVEMENT
⊙	LIGHT STANDARD	GV	GAS VALVE	FC	FINISHED CONCRETE
⊙	TRAFFIC SIGNAL	L	LOT LINE	FF	FINISHED FLOOR
⊙	STREET LIGHT	MH	MAN HOLE	FL	FLOW LINE
⊙	HANDICAP STALL	PB	PULL BOX	NG	NATURAL GROUND
⊙	WROUGHT IRON FENCE	PE	PEDESTAL	TC	TOP OF CURB
⊙	WOOD FENCE	PV	POST INDICATOR VALVE	TG	TOP OF GRATE
⊙	CHAINLINK FENCE	PL	PROPERTY LINE	TRM	RIM OF MANHOLE
⊙	PARKING COUNT	RAD	RADIAL	R/W	RIGHT OF WAY
△	BUILDING HEIGHT INDICATOR				

BASIS OF BEARINGS

THE BASIS OF BEARINGS USED ON THIS SURVEY IS THE CENTERLINE OF EMBARCADERO ROAD BEARING NORTH 52°42'10" EAST AS SHOWN ON PARCEL MAP BOOK 483 PAGE 40 RECORDS OF SAID COUNTY.

LIST OF ENCROACHMENTS

NONE TO STATE

ZONING INFORMATION

NONE PROVIDED

BENCHMARK

BENCHMARK NO. 2407
 DESCRIPTION: BD "L13" S.E. COR
 ELEVATION: 5.73

EASEMENT NOTES

THE FOLLOWING ITEMS WERE FOUND IN TITLE REPORT NO. NCS-782250-9-PHIL DATED MARCH 8, 2016 BY FIRST AMERICAN TITLE INSURANCE COMPANY

- AN EASEMENT FOR STORM WATER DRAINAGE AND INCIDENTAL PURPOSES, RECORDED AUGUST 07, 1963 AS BOOK 6136, PAGE 331 OF OFFICIAL RECORDS, IN FAVOR OF: CITY OF PALO ALTO, A MUNICIPAL CORPORATION, EASEMENT AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON.
- AN EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES AND IMPROVEMENTS AND INCIDENTAL PURPOSES, RECORDED JULY 27, 1983 AS BOOK 4808, PAGE 0048 OF OFFICIAL RECORDS, IN FAVOR OF: CITY OF PALO ALTO, A MUNICIPAL CORPORATION, EASEMENT AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON.
- AN EASEMENT FOR PRIVATE INGRESS/EGRESS AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 13, 1998 AS INSTRUMENT NO. 14053157 OF OFFICIAL RECORDS, IN FAVOR OF: FABER PLACE, L.L.C. A LIMITED LIABILITY COMPANY AND ANDERSON DEALERSHIP REALTY CORP. A DELAWARE CORPORATION, EASEMENT AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON.

FLOOD ZONE INFORMATION

ZONE: AE (EL 11)
 BASE FLOOD ELEVATIONS DETERMINED
 PANEL NO. 06085C 0030H
 DATED: MAY 18, 2009
 NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

LEGAL DESCRIPTION

THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF PALO ALTO, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
 PARCEL ONE:

PARCEL 4, AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED JULY 1, 1969 IN BOOK 255, PAGE 54 OF MAPS, RECORDS OF SANTA CLARA COUNTY, CALIFORNIA.

PARCEL TWO:

AN EXCLUSIVE EASEMENT: 20.00 FEET IN WIDTH FOR THE PURPOSE OF INGRESS AND EGRESS, AS CREATED BY THAT CERTAIN EASEMENT AGREEMENT DATED FEBRUARY 13, 1998 AND RECORDED FEBRUARY 13, 1998, INSTRUMENT NO. 14053158, UPON THE TERMS AND PROVISIONS CONTAINED THEREIN, THE CENTERLINE OF SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 1 OF THAT CERTAIN PARCEL MAP FILED APRIL 29, 1981 IN BOOK 483 OF MAPS, AT PAGE 40, OFFICIAL RECORDS OF SANTA CLARA COUNTY, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST EASTERLY CORNER OF THE AFOREMENTIONED PARCEL 1 (483 M SAID MOST EASTERLY CORNER BEING A POINT ON THE SOUTHWESTERLY RIGHT OF WAY LINE OF FABER PLACE 60 FEET IN WIDTH AS SAID RIGHT OF WAY SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED OCTOBER 23, 1987 IN BOOK 229 OF MAPS AT PAGE 24, OFFICIAL RECORDS OF SANTA CLARA COUNTY; THENCE NORTHWESTERLY ALONG SAID SOUTHWESTERLY RIGHT OF WAY LINE ALONG THE ARC OF A 3030.00 FOOT RADIUS CURVE TO THE RIGHT, THE CENTER OF WHICH BEARS, NORTH 52 DEG. 38' 11" EAST THROUGH A CENTRAL ANGLE OF 3 DEG. 31' 03" AN ARC DISTANCE OF 186.02 FEET, TO THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE LEAVING SAID SOUTHWESTERLY RIGHT OF WAY LINE, SOUTH 56 DEG. 06' 34" WEST, 4.74 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF A 20.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 35 DEG. 21' 55" AN ARC DISTANCE OF 12.34 FEET TO A POINT OF REVERSE CURVATURE, THENCE WESTERLY ALONG A 20.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 32 DEG. 01' 57", AN ARC DISTANCE OF 11.18 FEET; THENCE SOUTH 52 DEG. 46' 36" WEST, 82.58 FEET; THENCE WESTERLY AND SOUTHERLY ALONG THE ARC ON A 20.00 FOOT RADIUS, TANGENT CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 90 DEG. 13' 34", AN ARC DISTANCE OF 31.49 FEET, THENCE SOUTH 37 DEG. 26' 58" EAST, 0.74 FEET; THENCE SOUTHERLY AND SOUTHWESTERLY ALONG THE ARC OF 20.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90 DEG. 09' 21", AN ARC DISTANCE OF 31.47 FEET; THENCE SOUTH 52 DEG. 42' 23" WEST, 181.89 FEET; THENCE SOUTHWESTERLY AND WESTERLY ALONG THE ARC OF A 20.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 67 DEG. 04' 48" AN ARC DISTANCE OF 23.42 FEET TO A POINT OF REVERSE CURVATURE; THENCE WESTERLY AND SOUTHWESTERLY ALONG ARC OF A 20.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 67 DEG. 05' 02", AN ARC DISTANCE OF 23.42 FEET; THENCE SOUTH 52 DEG. 42' 10" WEST 7.16 FEET TO THE WESTERLY LINE OF SAID PARCEL 1 (483 MAPS 40) AND THE SOUTHWESTERLY TERMINUS OF THIS DESCRIPTION, THE SIDELINES OF SAID STRIP ARE TO BE SHORTENED OR LENGTHENED TO TERMINATE AT THE EASTERLY AND WESTERLY BOUNDARY LINE OF SAID PARCEL 1 (483 MAPS 40).

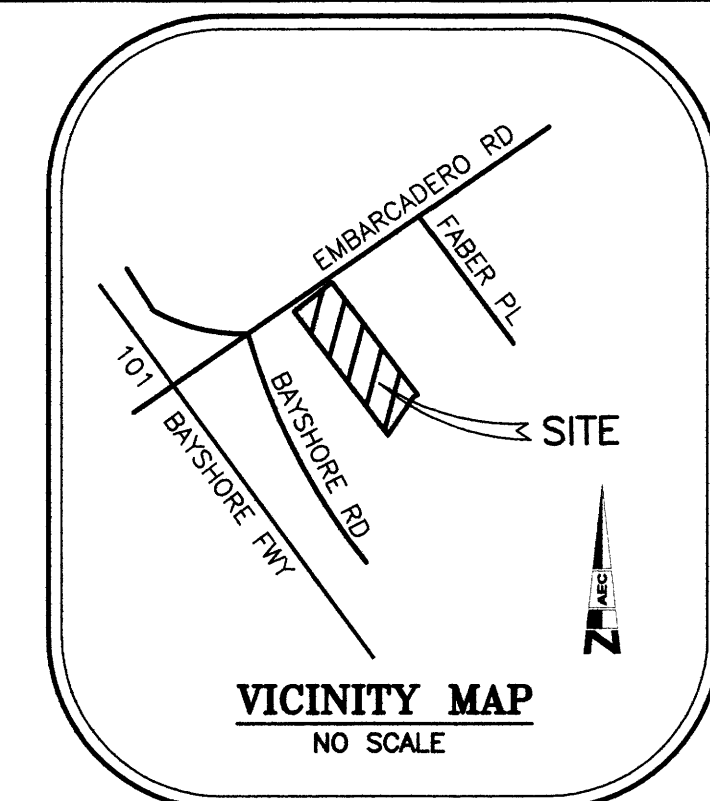
PARCEL THREE:
 AN EASEMENT FOR THE PURPOSE OF PRIVATE INGRESS AND EGRESS, AS CREATED BY THAT CERTAIN EASEMENT AGREEMENT DATED FEBRUARY 13, 1998 AND RECORDED FEBRUARY 18, 1998, INSTRUMENT NO. 14058216, UPON THE TERMS AND PROVISIONS CONTAINED THEREIN, UPON AND ACROSS A STRIP OF LAND DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 1 OF THAT CERTAIN PARCEL MAP FILED APRIL 29, 1981, IN BOOK 483 OF MAPS, AT PAGE 40, OFFICIAL RECORDS OF SAID SANTA CLARA COUNTY, FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST WESTERLY CORNER OF THE AFOREMENTIONED PARCEL 1 (483 M 40) SAID MOST WESTERLY CORNER BEING A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF EMBARCADERO ROAD, 68 FEET IN WIDTH AS SAID RIGHT OF WAY IS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED OCTOBER 23, 1987, IN BOOK 229 OF MAPS AT PAGE 24, OFFICIAL RECORDS, OF SANTA CLARA COUNTY; THENCE ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE NORTH 52 DEG. 42' 10" EAST, 40.33 FEET; THENCE LEAVING SAID RIGHT OF WAY LINE SOUTH 38 DEG. 41' 01" EAST, 64.35 FEET; THENCE SOUTH 37 DEG. 49' 47" EAST,

60.67 FEET; THENCE SOUTH 52 DEG. 10' 51" WEST, 22.86 FEET; THENCE WESTERLY AND SOUTHWESTERLY ALONG THE ARC OF A 4.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 74 DEG. 08' 48", AN ARC DISTANCE OF 5.18 FEET TO A POINT OF REVERSE CURVATURE; THENCE SOUTHEASTERLY AND SOUTHERLY ALONG THE ARC OF A 50.00 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT, THE CENTER OF WHICH BEARS SOUTH 58 DEG. 25' 22" WEST, THROUGH A CENTRAL ANGLE OF 41 DEG. 28' 07", AN ARC DISTANCE OF 36.19 FEET TO THE WESTERLY LINE OF SAID PARCEL 1 (483 M 40); THENCE ALONG SAID WESTERLY LINE NORTH 37 DEG. 17' 50" WEST 159.85 FEET TO THE POINT OF BEGINNING.

APN: 008-03-066
 ARB: 008-03-066

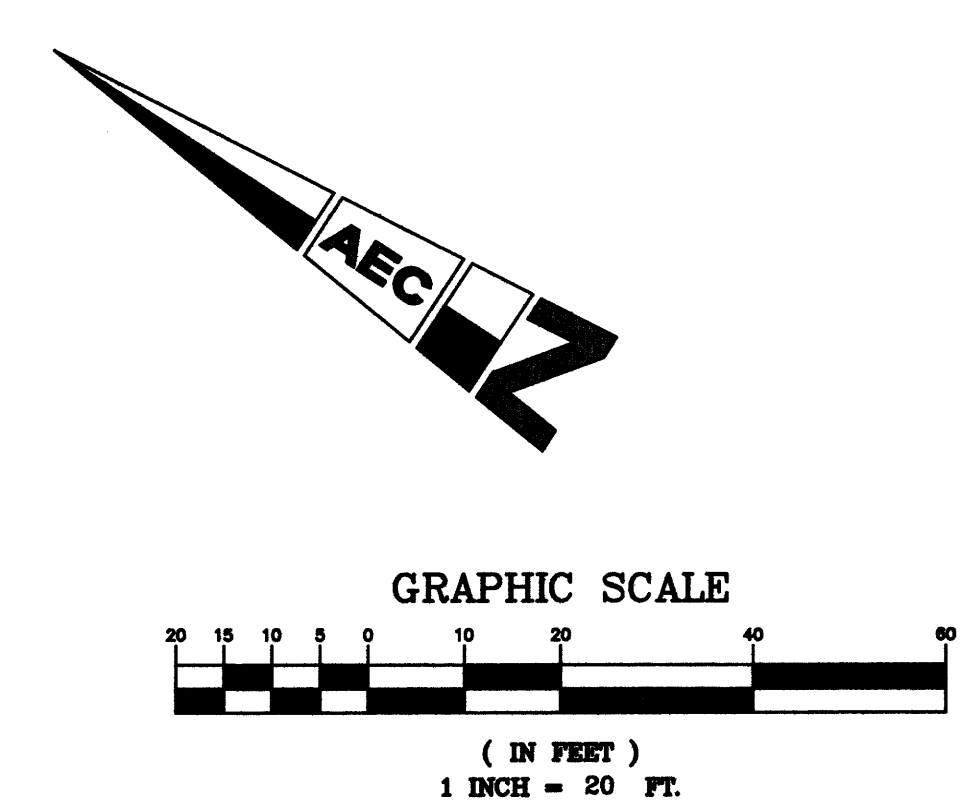
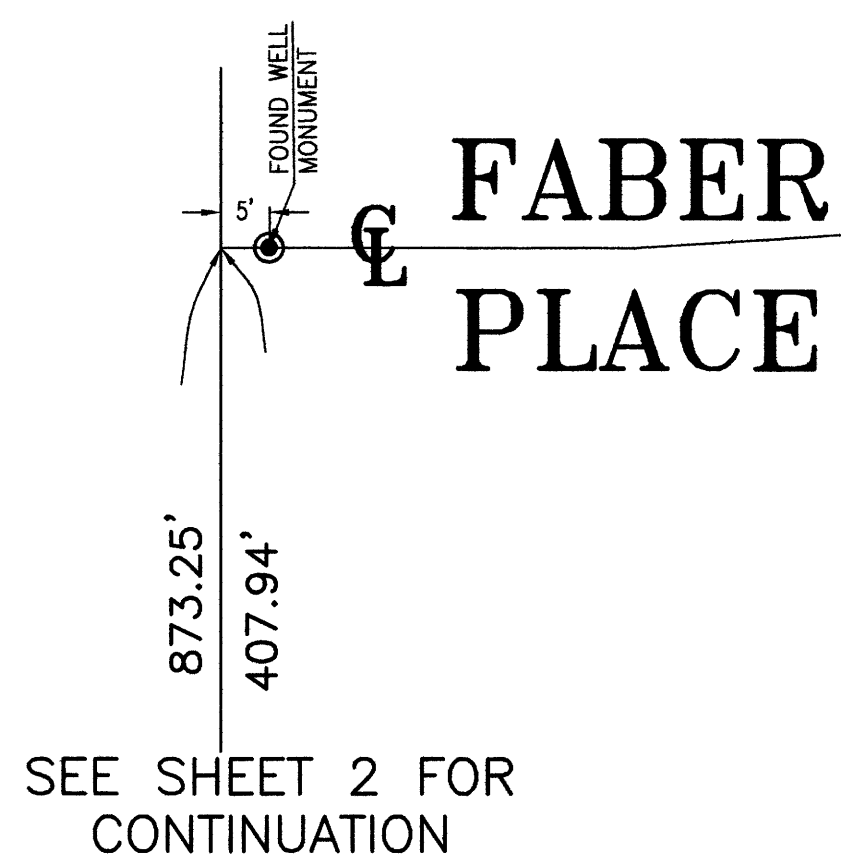


LAND AREA

9,9350 SQUARE FEET
 2.280 ACRES

PARKING COUNT

REGULAR STALLS - 17
 ADA STALLS - 5
 TOTAL STALLS - 22



SEE SHEET 2 FOR CONTINUATION

GENERAL NOTES

- SURVEYOR HAS RELIED UPON INFORMATION SUPPLIED IN THE CURRENT TITLE REPORT BY FIRST AMERICAN TITLE INSURANCE COMPANY REPORT NO. NCS-782250-9-PHIL DATED MARCH 8, 2016 TO DISCLOSE RECORD EASEMENTS THAT BURDEN OR BENEFIT THIS PROPERTY.
- BUILDING SETBACK LINES SHOWN HEREON REFLECT THE INFORMATION AS EXPLAINED BY THE CITY REPRESENTATIVE INDICATED HEREON.
- THE PHRASE "FLOOD HAZARD" WITHIN THE CERTIFICATION HEREON REFERS TO "SPECIAL FLOOD HAZARD AREA" AS DEFINED BY FEMA AND THE NFIP AND ONLY REFERS TO THOSE AREAS ON FLOOD INSURANCE RATE MAPS AS BEING WITHIN ZONES A OR V OF SAID MAPS.
- BY OBSERVATION NO CEMETERIES ARE KNOWN OR FOUND ON SUBJECT PROPERTY.
- NO MONUMENTATION WAS FOUND OR SET AT THE PROPERTY CORNERS UNLESS NOTED OTHERWISE.
- ASSESSORS PARCEL NUMBER FOR THIS PROPERTY IS 008-03-066.
- BEARINGS AND DISTANCES ARE RECORDED AND MEASURED PER PARCEL MAP BOOK 483 PAGE 40 RECORDS OF SAID COUNTY, UNLESS NOTED OTHERWISE.
- SURVEYOR TAKES NO RESPONSIBILITY OF ITEMS OMITTED DUE TO A RESULT OF VISUAL OBSTRUCTIONS, SUCH AS AUTOMOBILES, EQUIPMENT & THICK SHRUBBERY.
- THE BUILDING SQUARE FOOTAGE INDICATED ON THIS PLAN IS BASED ON EXTERIOR DIMENSIONS AT GROUND LEVEL ONLY.
- THIS PLAN AND/OR DATA FILES INCLUDING ALL CONTENTS HEREIN ARE FOR THE SOLE USES AND PARTIES INDICATED HEREON INCLUDING THEIR SUCCESSORS AND ASSIGNS. ANY DEVIATION OR MISUSE OF THIS PLAN AND/OR DATA FILES WITHOUT PRIOR WRITTEN AGREEMENTS BY ANACAL ENGINEERING IS PROHIBITED AND IS THE RESPONSIBILITY OF THE PARTIES USING SAID DRAWING AND/OR DATA FILES, UPON THE REUSE OF THIS PLAN AND/OR DATA FILES ANACAL ENGINEERING RELINQUISHES ALL RESPONSIBILITIES OF THE ACCURACY AND GENERAL CONTENT OF SAID PLAN AND/OR DATA FILES CONTAINED HEREIN.
- NO WETLANDS REPORT WAS PROVIDED AT THE TIME OF THIS SURVEY AND NO WETLANDS WERE INDICATED BY VISUAL INSPECTION.
- THERE IS NO EVIDENCE OF EARTH MOVING WORK, EXTERIOR BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED THAT HAVE BEEN DONE WITHIN RECENT MONTHS.
- THERE IS NO EVIDENCE OF SOLID WASTE DUMP, SLUMP OR SANITARY LAND FILL USE.
- RESEARCH DONE AT THE CITY'S &/OR COUNTY'S PUBLIC WORKS DEPARTMENTS INDICATE THAT THERE ARE NO CHANGES IN THE STREET RIGHT OF WAY LINES AS SHOWN HEREON. FURTHERMORE THERE IS NO OBSERVABLE EVIDENCE OF ANY RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS, HOWEVER IT IS THE RESPONSIBILITY OF THE DESIGN PROFESSION TO VERIFY THIS INFORMATION PRIOR TO ANY FUTURE DESIGN WORK.
- THIS PLAN DOES NOT CONTAIN SUFFICIENT DATA FOR DESIGN PURPOSES AND IS NOT FOR CONSTRUCTION PURPOSES.
- BASED ON VISUAL OBSERVATION, THE SUBJECT SITE IS SERVICED BY ALL THE NECESSARY UTILITIES REQUIRED TO MAINTAIN NORMAL OPERATION.
- IF UNDERGROUND UTILITIES OR OTHER STRUCTURES, ZONES, SETBACK AND/OR STREET WIDENING DATA ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY, HAVING BEEN OBTAINED FROM A GENERAL REQUEST AT THE LOCAL AGENCY'S PUBLIC COUNTER AND/OR OTHER SOURCES NOT CONNECTED WITH THIS COMPANY. NO REPRESENTATION IS MADE AS TO THE ACCURACY, CURRENCY OR COMPLETENESS OF SAID INFORMATION DUE TO CHANGED CONDITIONS NOT REFLECTED IN THE STANDARD RESEARCH PERFORMED FOR THIS PROJECT. ANY USER OF SAID INFORMATION ARE URGED TO CONTACT THE UTILITY COMPANY OR LOCAL AGENCY DIRECTLY.
- ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/ACSM SPECIFICATIONS UNLESS OTHERWISE NOTED.
- SITE HAS DIRECT ACCESS FROM EMBARCADERO ROAD AND FABER PLACE THROUGH AN EASEMENT PARCEL BOTH PUBLIC RIGHT OF WAYS.
- SURVEYOR DOES NOT ASCERTAIN OWNERSHIP OF FENCES AND PERIMETER WALLS.
- ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENT, SERVICED, AND ENCROACHMENTS ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
- ALL RECIPROCAL EASEMENT (IF ANY) THAT THE SURVEYOR HAS BEEN MADE AWARE OF HAVE BEEN DENOTED ON THIS SURVEY. THE LIMITS OF ANY OFFSITE EASEMENTS THAT THE SURVEYOR HAS BEEN MADE AWARE OF ARE ALSO SHOWN (IF ANY).
- THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTIONS OR REPAIRS.
- THE DIFFERENCES BETWEEN CALLS OF RECORD AND THOSE THAT WERE FOUND DO NOT CREATE ANY GAPS OR OTHER TITLE PROBLEMS.
- THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF THE BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE ABOVE PREMISES; THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SAID PROPERTY EXCEPT AS SHOWN HEREON AND WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF CALIFORNIA.
- THE PROPERTY HEREON IS THE SAME PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY REPORT NO. NCS-782250-9-PHIL DATED MARCH 8, 2016 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.
- ALL AREAS IN RECIPROCAL EASEMENT AGREEMENTS (REAS) HAVE BEEN DENOTED THE SURVEY, THE LIMITS OF ANY OFFSITE APPURTENANT EASEMENTS ARE ALSO SHOWN ON THE SURVEY, THE LIMITS OF ANY REAS OF OFFSITE APPURTENANT AND BENEFICIAL EASEMENTS TO THE LAND SUBJECT TO THE SURVEY ARE REPORTED, THAT THE SURVEYOR HAS BEEN MADE AWARE OF, INCLUDING THE LOCATIONS OF ALL BUILDINGS, PARKING SPACES, AND OTHER IMPROVEMENTS ON THOSE LANDS.
- THE LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS INSURED IN THE TITLE COMMITMENT OR ANY EXCEPTIONS HAVE BEEN NOTED.
- THE ZONING CLASSIFICATION IF SHOWN ON THE SURVEY, INCLUDING A) THE ZONING CLASSIFICATION AND THE NAME OF THAT DISTRICT, IF ANY; B) THE PERMITTED USES WITHIN THAT CLASSIFICATION; C) IF THE EXISTING USE IS NON-CONFORMING BUT PERMITTED WHETHER THE USE IS "GRAND FATHERED" OR PERMITTED BY ANY SPECIAL APPROVAL, THE DATE OF THAT APPROVAL AND BY WHOM; AND D) THE SOURCE OF INFORMATION (AUTHORITY, NAME AND TITLE), AS PROVIDED TO THE SURVEYOR PER ALTA/ACSM LAND TITLE SURVEY REQUIREMENTS DATED 2005 TABLE A ITEM 6 (A) & (B) AS PROVIDED BY INSURER
- SITE IS CURRENTLY UNDER CONSTRUCTION TEMPORARY CONSTRUCTION FENCE IS NOT SHOWN AREAS OF RIGHT OF WAY AND SITE ARE IN CONSTANT CHANGES DUE TO CONSTRUCTION.

SURVEYORS CERTIFICATE

THE UNDERSIGNED, BEING A REGISTERED SURVEYOR OF THE STATE OF CALIFORNIA CERTIFIES TO (I) FIELDER GROUP (II) HOLMAN AUTOMOTIVE INC. (III) FIRST AMERICAN TITLE INSURANCE COMPANY, AS FOLLOWS:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2016, AND INCLUDES ITEMS 2, 3, 4, 5, 6, 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(g) (LOCATION OF UTILITIES PER VISIBLE, ABOVEGROUND, ON-SITE OBSERVATION) 13, 14, 16, 17, 18, 19, AND 21 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THE CERTIFICATION. UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA, THAT THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN. THE FIELD WORK WAS COMPLETED ON APRIL 1, 2016.

THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS."

THE PARTIES LISTED ABOVE ARE ENTITLED TO RELY ON THE SURVEY AND THIS CERTIFICATE AS BEING TRUE AND ACCURATE.



C. QUEYREL, LS 2988 DATE 4/20/16

NOTE: SECTION 8770.8 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

PROJECT ENGINEER
ANACAL ENGINEERING COMPANY
 CIVIL ENGINEERING & LAND SURVEYING
 1900 EAST LA PALMA AVENUE ~ SUITE 202 ~ ANAHEIM, CALIFORNIA 92805
 PHONE: (714) 774-1763 FAX: (714) 774-4680
 E-MAIL ADDRESS: anacal@anacalengineering.com
 WEB SITE: anacalengineering.com

DATE: 4/19/16
 SCALE: 1" = 20'
 DRAWN: M.L.
 CHECKED: C.J.
 PALO ALTO, CALIFORNIA

A.L.T.A./A.C.S.M. LAND TITLE SURVEY

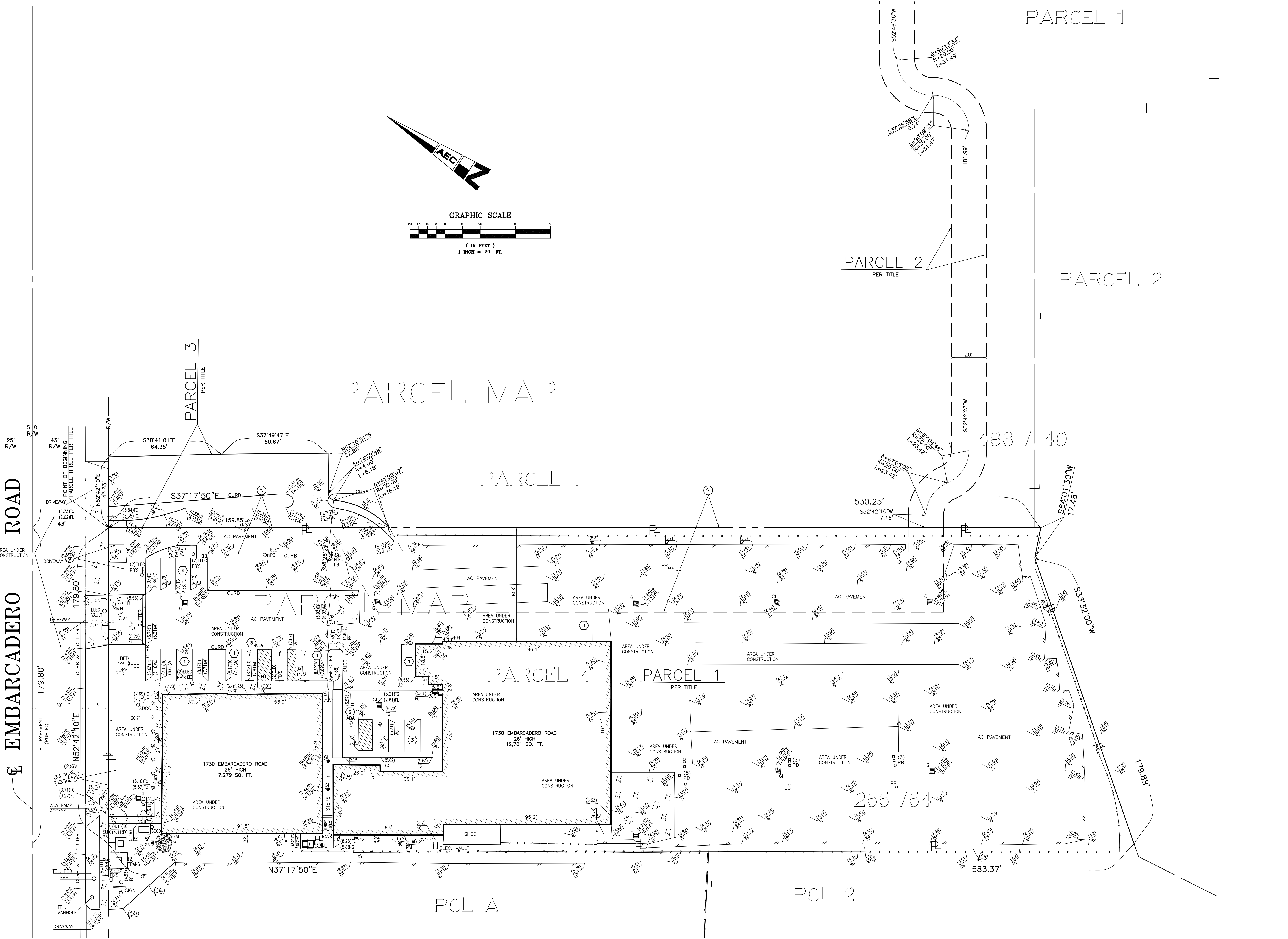
1730 EMBARCADERO ROAD

SHEET NO. 1 OF 2

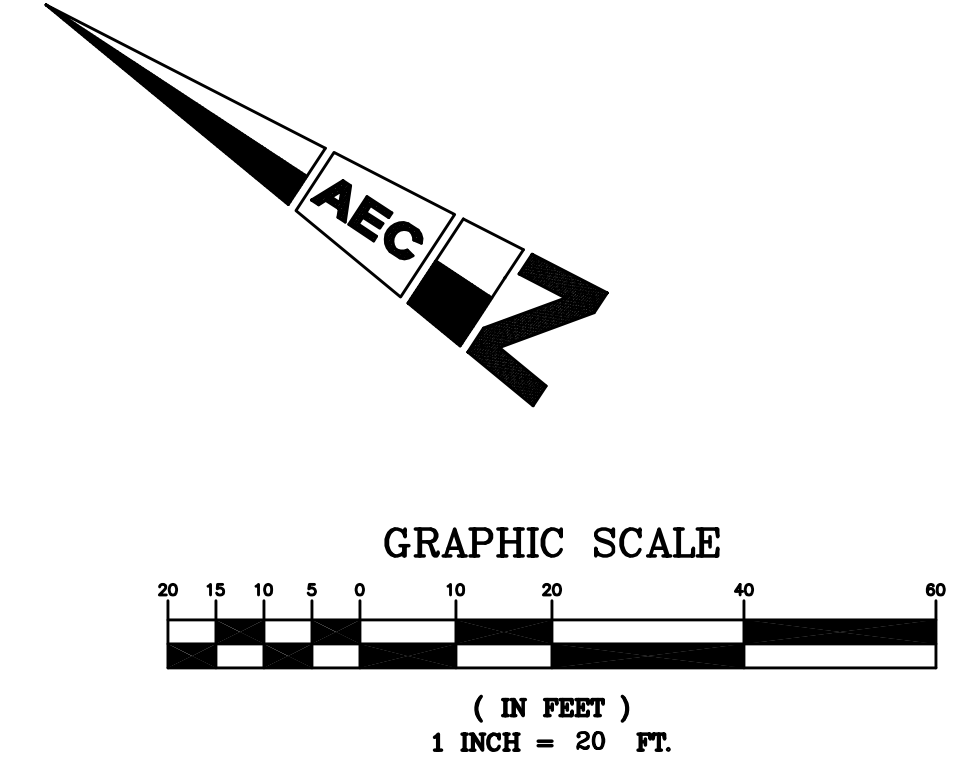
JOB NO. 16-088AT

SEE SHEET 1 FOR CONTINUATION

SEE SHEET 1 FOR CONTINUATION



PARCEL MAP



EMBARCADERO ROAD

PARCEL 1

PARCEL 2

PARCEL 2

PARCEL 3

PARCEL 1

PARCEL 4

PARCEL 1

PCL A

PCL 2

1730 EMBARCADERO ROAD
26' HIGH
7,279 SQ. FT.

1730 EMBARCADERO ROAD
26' HIGH
12,701 SQ. FT.

255 / 54

483 / 40

530.25'

S64°01'30"W
17.48'

583.37'

63

ANACAL
ENGINEERING

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DATE	4/19/16
SCALE	1" = 20'
DRAWN	M. L.
CHECKED	C. J. G.

A.L.T.A./A.C.S.M. LAND TITLE SURVEY

1730 EMBARCADERO ROAD

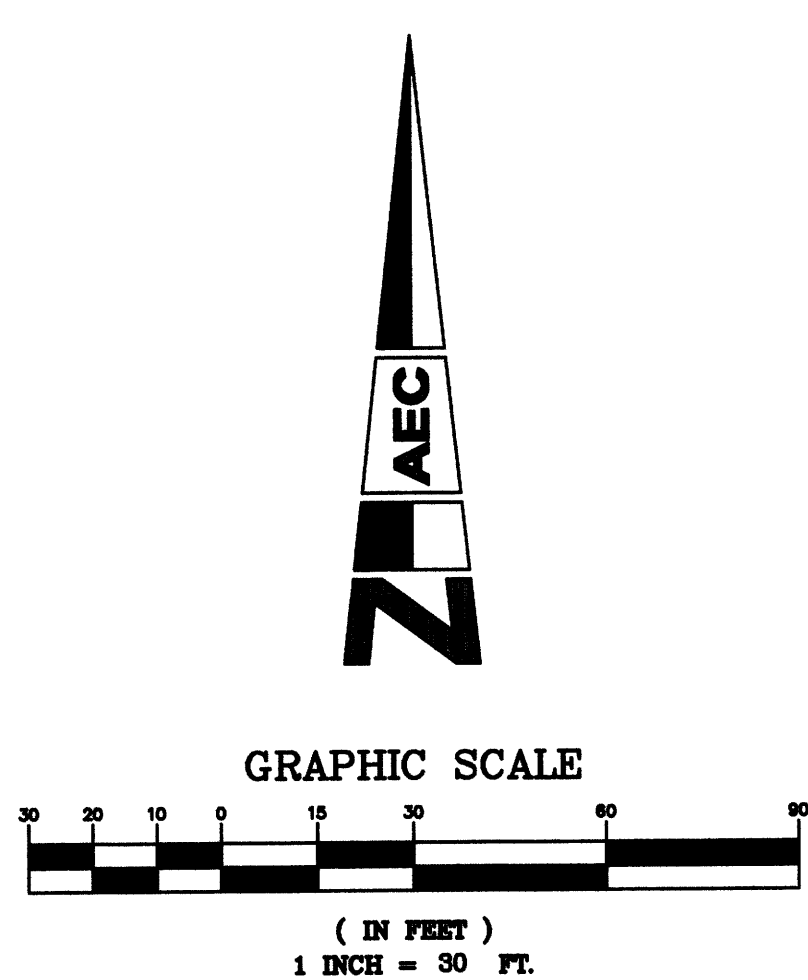
PALO ALTO, CALIFORNIA

JOB NO. 16-089AT

SHEET NO. **2** OF **2**

LEGEND

Table with 2 columns: Symbol and Description. Includes items like FIRE HYDRANT, ASPHALT PAVEMENT, WATER VALVE, etc.



BASIS OF BEARINGS

THE BASIS OF BEARINGS USED ON THIS SURVEY IS THE CENTERLINE OF EMBARCADERO ROAD BEARING NORTH 52°42'10" EAST AS SHOWN ON RECORD OF SURVEY BOOK 838, PAGE 11 RECORDS OF SAID COUNTY.

LIST OF ENCROACHMENTS

NONE TO STATE

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF PALO ALTO, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS: BEING ALL OF PARCEL 3 AS SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD ON JULY 11, 1969 IN BOOK 255 OF MAPS AT PAGE 54 SANTA CLARA COUNTY RECORDS AND A PORTION OF PARCEL 1 AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD ON OCTOBER 23, 1967 IN BOOK 229 OF MAPS AT PAGE 24, SANTA CLARA COUNTY RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE EASTERLY LINE OF EAST BAYSHORE ROAD AT THE NORTHWEST CORNER OF SAID PARCEL 3; THENCE ALONG SAID EASTERLY LINE NORTH 16°19'50" WEST, 248.63 FEET; THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 50.00 FEET, THROUGH A CENTRAL ANGLE OF 49°05'08" FOR AN ARC DISTANCE OF 42.84 FEET TO A POINT ON THE SOUTHERLY LINE OF EMBARCADERO ROAD; THENCE ALONG SAID SOUTHERLY LINE NORTH 52°42'10" EAST 251.52 TO THE MOST NORTHERLY CORNER OF THE LANDS OF THE HC INVESTMENT ASSOCIATES LP AS DESCRIBED IN THAT CERTAIN GRANT DEED RECORDED ON JULY 11, 2006 AS DOCUMENT NO. 19010187, SANTA CLARA COUNTY RECORDS; THENCE ALONG THE EASTERLY LINE OF SAID LANDS OF HC INVESTMENT ASSOCIATES LP AND THE EASTERLY LINE OF SAID PARCEL 3, SOUTH 37°17'50" EAST, 341.83 TO A POINT ON THE SOUTHERLY LINE OF SAID PARCEL 3; THENCE ALONG SAID SOUTHERLY LINE, SOUTH 55°41'07" WEST, 393.67 FEET TO A POINT ON THE EASTERLY LINE OF EAST BAYSHORE ROAD; THENCE ALONG SAID EASTERLY LINE NORTH 16°19'50" WEST, 84.13 FEET TO THE POINT OF BEGINNING AS DESCRIBED IN THAT CERTIFICATE OF COMPLIANCE (LOT LINE ADJUSTMENT MERGER) RECORDED DECEMBER 17, 2009 AS INSTRUMENT NO. 20544106 OF OFFICIAL RECORDS.

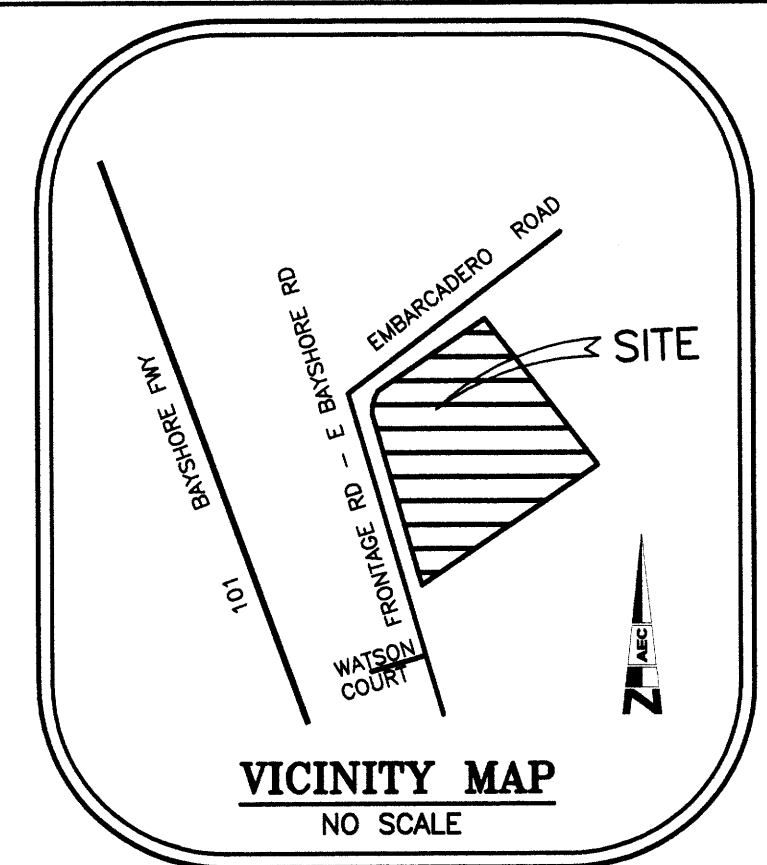


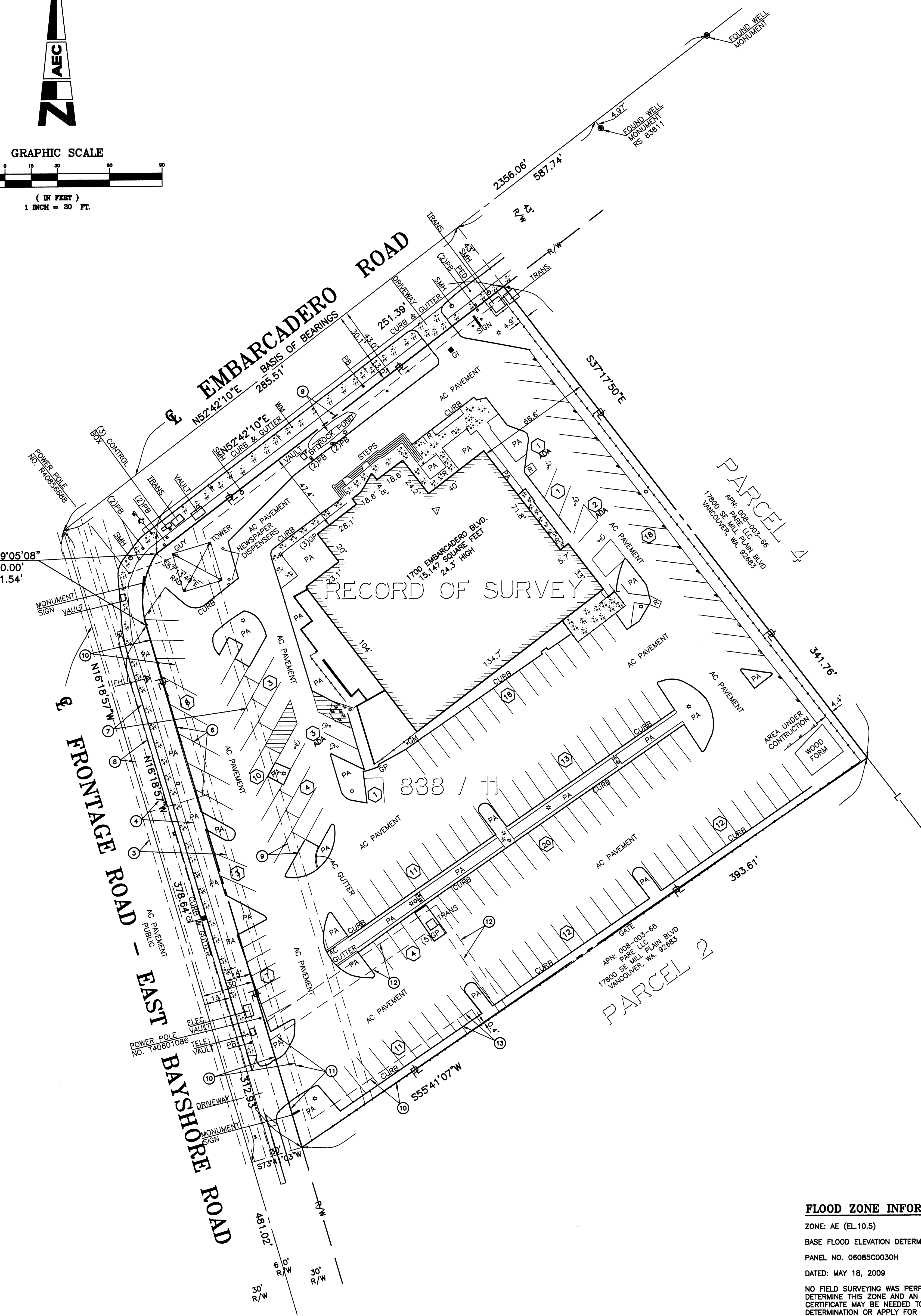
Table with 2 columns: Category and Value. Includes LAND AREA (110,378 SQUARE FEET), PARKING COUNT (REGULAR STALLS - 84, ADA STALLS - 6, TOTAL STALLS - 90).

ZONING INFORMATION

ZONE: CS (D) SERVICE COMMERCIAL SETBACKS: FRONT: 0'-10' TO CREATE AN 8'-12' SIDEWALK SIDE: 0 STREET: N/A REAR: 0 BULK: 0.4:1 FLOOR AREA RATIO HEIGHT: 50' PARKING RESTRICTIONS: 1. SPACE PER 60 GROSS FLOOR AREA OF PUBLIC SERVICE AREA PLUS 1 SPACE PER 200 GROSS FLOOR AREA FOR ALL OTHER AREAS, BICYCLE PARKING 1 PER 600 GROSS FLOOR AREA OF PUBLIC SERVICE PLUS 1 PER 200 GROSS FLOOR AREA OF ALL OTHER AREAS.

GENERAL NOTES

- 1. SURVEYOR HAS RELIED UPON INFORMATION SUPPLIED IN THE CURRENT TITLE REPORT BY FIRST AMERICAN TITLE INSURANCE COMPANY REPORT NO. NCS-713746-SM DATED FEBRUARY 2, 2015 TO DISCLOSE RECORD EASEMENTS THAT BURDEN OR BENEFIT THIS PROPERTY. 2. BUILDING SETBACK LINES SHOWN HEREON REFLECT THE INFORMATION AS EXPLAINED BY THE CITY REPRESENTATIVE INDICATED HEREON. 3. THE PHRASE "FLOOD HAZARD" WITHIN THE CERTIFICATION HEREON REFERS TO "SPECIAL FLOOD HAZARD AREA" AS DEFINED BY FEMA AND THE NFIP AND ONLY REFERS TO THOSE AREAS ON FLOOD INSURANCE RATE MAPS AS BEING WITHIN ZONES A OR X OF SAID MAPS. 4. BY OBSERVATION NO CEMETERIES ARE KNOWN OR FOUND ON SUBJECT PROPERTY. 5. NO MONUMENTATION WAS FOUND OR SET AT THE PROPERTY CORNERS UNLESS NOTED OTHERWISE. 6. ASSESSORS PARCEL NUMBER FOR THIS PROPERTY IS 008-03-084. 7. BEARINGS AND DISTANCES ARE RECORDED AND MEASURED PER RECORD OF SURVEY BOOK 838 PAGE 11 RECORDS OF SAID COUNTY, UNLESS NOTED OTHERWISE. 8. SURVEYOR TAKES NO RESPONSIBILITY OF ITEMS OMITTED DUE TO A RESULT OF VISUAL OBSTRUCTIONS, SUCH AS AUTOMOBILES, EQUIPMENT & THICK SHRUBBERY. 9. THE BUILDING SQUARE FOOTAGE INDICATED ON THIS PLAN IS BASED ON EXTERIOR DIMENSIONS AT GROUND LEVEL ONLY. 10. THIS PLAN AND/OR DATA FILES INCLUDING ALL CONTENTS HEREIN ARE FOR THE SOLE USES AND PARTIES INDICATED HEREON INCLUDING THEIR SUCCESSORS AND ASSIGNS. ANY DEVIATION OR MISUSE OF THIS PLAN AND/OR DATA FILES WITHOUT PRIOR WRITTEN AGREEMENTS BY ANACAL ENGINEERING IS PROHIBITED AND IS THE RESPONSIBILITY OF THE PARTIES USING SAID DRAWING AND/OR DATA FILES, UPON THE REUSE OF THIS PLAN AND/OR DATA FILES ANACAL ENGINEERING RELINQUISHES ALL RESPONSIBILITIES OF THE ACCURACY AND GENERAL CONTENT OF SAID PLAN AND/OR DATA FILES CONTAINED HEREIN. 11. NO WETLANDS REPORT WAS PROVIDED AT THE TIME OF THIS SURVEY AND NO WETLANDS WERE INDICATED BY VISUAL INSPECTION. 12. THERE IS NO EVIDENCE OF EARTH MOVING WORK, EXTERIOR BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED THAT HAVE BEEN DONE WITHIN RECENT MONTHS. 13. THERE IS NO EVIDENCE OF SOLID WASTE DUMP, SUMP OR SANITARY LAND FILL USE. 14. RESEARCH DONE AT THE CITY'S &/OR COUNTY'S PUBLIC WORKS DEPARTMENTS INDICATE THAT THERE ARE NO CHANGES IN THE STREET RIGHT OF WAY LINES AS SHOWN HEREON. FURTHERMORE THERE IS NO OBSERVABLE EVIDENCE OF ANY RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS, HOWEVER IT IS THE RESPONSIBILITY OF THE DESIGN PROFESSION TO VERIFY THIS INFORMATION PRIOR TO ANY FUTURE DESIGN WORK. 15. THIS PLAN DOES NOT CONTAIN SUFFICIENT DATA FOR DESIGN PURPOSES AND IS NOT FOR CONSTRUCTION PURPOSES. 16. BASED ON VISUAL OBSERVATION, THE SUBJECT SITE IS SERVICED BY ALL THE NECESSARY UTILITIES REQUIRED TO MAINTAIN NORMAL OPERATION. 17. IF UNDERGROUND UTILITIES OR OTHER STRUCTURES, ZONES, SETBACK AND/OR STREET WIDENING DATA ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY, HAVING BEEN OBTAINED FROM A GENERAL REQUEST AT THE LOCAL AGENCY'S PUBLIC CENTER AND/OR OTHER SOURCES NOT CONNECTED WITH THIS COMPANY. NO REPRESENTATION IS MADE AS TO THE ACCURACY, CURRENCY OR COMPLETENESS OF SAID INFORMATION DUE TO CHANGED CONDITIONS NOT REFLECTED IN THE STANDARD RESEARCH PERFORMED FOR THIS PROJECT. ANY USER OF SAID INFORMATION ARE URGED TO CONTACT THE UTILITY COMPANY OR LOCAL AGENCY DIRECTLY. 18. ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/ACSM SPECIFICATIONS UNLESS OTHERWISE NOTED. 19. SITE HAS DIRECT ACCESS FROM EMBARCADERO ROAD AND FRONTAGE ROAD - EAST BAYSHORE ROAD, ALL PUBLIC RIGHT OF WAYS. 20. SURVEYOR DOES NOT ASCERTAIN OWNERSHIP OF FENCES AND PERIMETER WALLS. 21. ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, ENCROACHMENTS, ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON. 22. ALL RECIPROCAL EASEMENT (IF ANY) THAT THE SURVEYOR HAS BEEN MADE AWARE OF HAVE BEEN DENOTED ON THIS SURVEY. THE LIMITS OF ANY OFFSITE EASEMENTS THAT THE SURVEYOR HAS BEEN MADE AWARE OF ARE ALSO SHOWN (IF ANY). 23. THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTIONS OR REPAIRS. 24. THE DIFFERENCES BETWEEN CALLS OF RECORD AND THOSE THAT WERE FOUND DO NOT CREATE ANY GAPS OR OTHER TITLE PROBLEMS. 25. THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF THE BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE ABOVE PREMISES; THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SAID PROPERTY EXCEPT AS SHOWN HEREON AND WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF CALIFORNIA. 26. THE PROPERTY HEREON IS THE SAME PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY REPORT NO. NCS-713746-SM DATED FEBRUARY 2, 2015 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR PARCEL MAP FROM A PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN TO HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY. 27. ALL AREAS IN RECIPROCAL EASEMENT AGREEMENTS (REAS) HAVE BEEN DENOTED THE SURVEY. THE LIMITS OF ANY OFFSITE APPURTENANT EASEMENTS ARE ALSO SHOWN ON THE SURVEY. THE LIMITS OF ANY REAS OF OFFSITE APPURTENANT AND BENEFICIAL EASEMENTS TO THE LAND SUBJECT TO THE SURVEY ARE REPORTED, THAT THE SURVEYOR HAS BEEN MADE AWARE OF, INCLUDING THE LOCATIONS OF ALL BUILDINGS, PARKING SPACES, AND OTHER IMPROVEMENTS ON THOSE LANDS. 28. THE LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS INSURED IN THE TITLE COMMITMENT OR ANY EXCEPTIONS HAVE BEEN NOTED. 29. THE ZONING CLASSIFICATION IS SHOWN ON THE SURVEY, INCLUDING A) THE ZONING CLASSIFICATION AND THE NAME OF THAT DISTRICT, IF ANY; B) THE PERMITTED USES WITHIN THE CLASSIFICATION; C) IF THE EXISTING USE IS NON-COMFORMING BUT PERMITTED WHETHER THE USE IS "GRAND FATHERED" OR PERMITTED BY ANY SPECIAL APPROVAL, THE DATE OF THAT APPROVAL AND BY WHOM; AND D) THE SOURCE OF INFORMATION (AUTHORITY, NAME AND TITLE). AS PROVIDED TO THE SURVEYOR PER ALTA/ACSM LAND TITLE SURVEY REQUIREMENTS DATED 2005 TABLE A ITEM 6 (A) & (B) AS PROVIDED BY INSURER.



EASEMENT NOTES

- THE FOLLOWING ITEMS WERE FOUND IN TITLE REPORT NO. NCS-713746-SM DATED FEBRUARY 2, 2015 BY FIRST AMERICAN TITLE INSURANCE COMPANY: 3. RIGHT TO ERECT AND MAINTAIN A DOUBLE LINE OF POLES AND WIRES STRUNG THEREON AND A RIGHT OF WAY FOR THE SAME OVER A STRIP OF LAND 40 FEET IN WIDTH TOGETHER WITH THE RIGHT OF ENTRY FOR THE PURPOSE OF ERECTING AND MAINTAINING THE SAID POLES AND WIRES AND THEIR APPURTENANCES AS AWARDED TO STANDARD ELECTRIC COMPANY, BY THAT CERTAIN DECREE IN CONDEMNATION ENTERED OCTOBER 18, 1904 IN THAT CERTAIN ACTION HAD IN THE SUPERIOR COURT OF THE STATE OF CALIFORNIA, IN AND FOR THE COUNTY OF SANTA CLARA ENTITLED, "STANDARD ELECTRIC COMPANY, PLAINTIFF VS. THOMAS SEALE ET AL DEFENDANTS", CASE NO. 13815, (AFFECTS THE SOUTHWESTERLY 40 FEET OF SAID LAND.) PORTION AFFECTS SUBJECT FEE PROPERTY AND IS PLOTTED HEREON. 4. A 15' WIDE EASEMENT FOR PIPE LINES, VALVES, MANHOLES, AND FITTINGS AND INCIDENTAL PURPOSES TO PACIFIC GAS AND ELECTRIC COMPANY, RECORDED MAY 29, 1929 AS BOOK 468, PAGE 94 OF OFFICIAL RECORDS. EASEMENT LIES WITHIN FRONTAGE ROAD-EAST BAYSHORE ROAD AND DOES NOT AFFECT SUBJECT FEE PROPERTY AND IS PLOTTED HEREON. 5. AN EASEMENT FOR ANCHOR AND INCIDENTAL PURPOSES TO PACIFIC GAS AND ELECTRIC COMPANY, RECORDED NOVEMBER 17, 1931 AS BOOK 680, PAGE 359 OF OFFICIAL RECORDS. EASEMENT AFFECTS SUBJECT PROPERTY AND IS PLOTTABLE OF RECORD DESCRIPTION. 6. A 40' WIDE EASEMENT FOR RIGHT TO USE A PORTION OF PREMISES FOR THE PURPOSES OF METERING OR MEASURING THE FLOW OF GAS AND FOR ALL PURPOSES THAT GRANTEE MAY FROM TIME TO TIME DEEM NECESSARY IN CONNECTION THEREWITH AND INCIDENTAL PURPOSES TO PACIFIC GAS AND ELECTRIC COMPANY, RECORDED AUGUST 24, 1933 AS BOOK 686, PAGE 384 OF OFFICIAL RECORDS. PORTION AFFECTS SUBJECT FEE PROPERTY AND IS PLOTTED HEREON. 7. A 60' WIDE EASEMENT FOR SINGLE LINE OF TOWERS AND A SINGLE LINE OF STEEL POLES AND INCIDENTAL PURPOSES, TO PACIFIC GAS AND ELECTRIC COMPANY, RECORDED SEPTEMBER 21, 1936 AS BOOK 790, PAGE 587 OF OFFICIAL RECORDS. PORTION AFFECTS SUBJECT FEE PROPERTY AND IS PLOTTED HEREON. 8. A 10' WIDE EASEMENT FOR RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSTALLING, MAINTAINING, REPAIRING AND/OR RENEWING SEWER LINES AND INCIDENTAL PURPOSES TO CITY OF PALO ALTO, RECORDED JUNE 08, 1959 AS BOOK 441, PAGE 568 OF OFFICIAL RECORDS. EASEMENT LIES WITHIN FRONTAGE ROAD-EAST BAYSHORE ROAD AND DOES NOT AFFECT SUBJECT FEE PROPERTY AND IS PLOTTED HEREON. 9. A 5' WIDE EASEMENT FOR STORM WATER DRAINAGE AND INCIDENTAL PURPOSES TO CITY OF PALO ALTO, RECORDED AUGUST 07, 1963 AS BOOK 6138, PAGE 331 OF OFFICIAL RECORDS. EASEMENT AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON. 10. A 10' WIDE EASEMENT FOR RIGHT-OF-WAY FOR UNDERGROUND ELECTRIC PURPOSES TOGETHER WITH THE RIGHT TO ENTER UPON AND TO PASS AND REPASS OVER AND ALONG AND INCIDENTAL PURPOSES TO CITY OF PALO ALTO, RECORDED MARCH 06, 1968 AS BOOK 8047, PAGE 634 OF OFFICIAL RECORDS. EASEMENT AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON. 11. A 10' WIDE EASEMENT FOR RIGHT-OF-WAY FOR UNDERGROUND ELECTRIC PURPOSES TOGETHER WITH THE RIGHT TO ENTER UPON AND TO PASS AND REPASS OVER AND ALONG AND INCIDENTAL PURPOSES TO CITY OF PALO ALTO, RECORDED MARCH 13, 1968 AS BOOK 8054, PAGE 680 OF OFFICIAL RECORDS. EASEMENT AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON. 12. A 5' WIDE EASEMENT FOR RIGHT-OF-WAY FOR UNDERGROUND ELECTRIC PURPOSES TOGETHER WITH THE RIGHT TO ENTER UPON AND TO PASS AND REPASS OVER AND ALONG AND INCIDENTAL PURPOSES, TO CITY OF PALO ALTO, RECORDED APRIL 30, 1969 AS BOOK 8517, PAGE 596 OF OFFICIAL RECORDS. EASEMENT AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON. 13. A 10'x10' WIDE EASEMENT FOR RIGHT-OF-WAY FOR UNDERGROUND ELECTRIC PURPOSES TOGETHER WITH THE RIGHT TO ENTER UPON AND TO PASS AND REPASS OVER AND ALONG AND INCIDENTAL PURPOSES TO CITY OF PALO ALTO, RECORDED MAY 15, 1969 AS BOOK 8535, PAGE 632 OF OFFICIAL RECORDS. EASEMENT AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON. 14. AN AGREEMENT OR COVENANT TO HOLD LAND AS ONE PARCEL RECORDED DECEMBER 17, 2009 AS INSTRUMENT NO. 20544106 OF OFFICIAL RECORDS. AN EASEMENT FOR PERPETUAL AIR OR FLIGHT EASEMENT, ALSO REFERRED TO AS "NAVIGATION RIGHTS" AND INCIDENTAL PURPOSES, RECORDED MAY 6, 2010 AS INSTRUMENT NO. 20702116 OF OFFICIAL RECORDS. AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION. 15. AN EASEMENT FOR PERPETUAL AIR OR FLIGHT EASEMENT, ALSO REFERRED TO AS "NAVIGATION RIGHTS" AND INCIDENTAL PURPOSES, TO CITY OF PALO ALTO, RECORDED MAY 6, 2010 AS INSTRUMENT NO. 20702116 OF OFFICIAL RECORDS. EASEMENT AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.

SURVEYORS CERTIFICATE

THE UNDERSIGNED, BEING A REGISTERED SURVEYOR OF THE STATE OF CALIFORNIA CERTIFIES TO (I) MERCEDES-BENZ FINANCIAL SERVICES USA LLC, ITS SUCCESSORS AND/OR ASSIGNS (II) JONES PALO ALTO REAL PROPERTY, LLC (III) FIRST AMERICAN TITLE INSURANCE COMPANY AS FOLLOWS: THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2011 AND INCLUDES ITEMS 2, 3, 4, 6, 7(c), 7(b)(1), 7(c), 8, 9, 10, 11(c) (LOCATION OF UTILITIES PER VISIBLE ABOVEGROUND, ON-SITE OBSERVATION) 13, 14, 16, 17, 18, 19, AND 21 OF TABLE A THEREOF TO THE ACCURACY STANDARDS AS SET FORTH BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THE CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA, THAT THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN. THE FIELD WORK WAS COMPLETED ON MARCH 25, 2015. THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE DISTANCE AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS. THE PARTIES LISTED ABOVE ARE ENTITLED TO RELY ON THE SURVEY AND THIS CERTIFICATE AS BEING TRUE AND ACCURATE.



D. C. QUEYREL, LS 7703 DATE 5/15/15

FLOOD ZONE INFORMATION

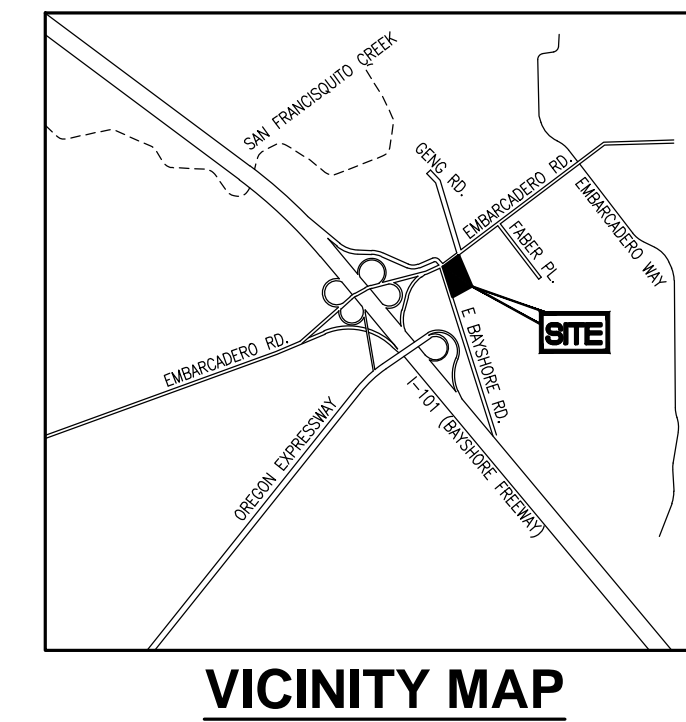
ZONE: AE (EL.10.5) BASE FLOOD ELEVATION DETERMINED PANEL NO. 0608500303H DATE: MAY 18, 2009 NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

Vertical sidebar containing project information: PROJECT ENGINEER ANACAL ENGINEERING COMPANY CIVIL ENGINEERING & LAND SURVEYING 1900 EAST LA PALMA AVENUE, SUITE 202 ANAHEIM, CALIFORNIA 92805 PHONE: (714) 774-1763 FAX: (714) 774-4690 E-MAIL ADDRESS: anacal@anacalengineering.com WEB SITE: anacalengineering.com. SHEET TITLE: PROJECT SHEET NO. 1. JOB NO. 15-044A. PALO ALTO, CALIFORNIA.

MERCEDES BENZ / AUDI OF PALO ALTO

DESIGN DEVELOPMENT PLANS

1700/1730 E. EMBARCADERO ROAD | PALO ALTO, CALIFORNIA 94303



PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
---	1-FOOT CONTOUR	---
---	5-FOOT CONTOUR	---
---	WATER LINE	---
---	FIRE PROTECTION WATER LINE	---
---	SANITARY SEWER LINE	---
---	STORM DRAIN LINE	---
---	OVERHEAD ELECTRIC	---
---	UNDERGROUND ELECTRIC	---
---	GAS LINE (INSTALLED BY CPAU FORCES)	---
X	FENCE	X
	TREE	
	SIGN	
	FIRE HYDRANT	
	WATER METER/VALVE	
	WATER BACK FLOW PREVENTER	
	SEWER MANHOLE	
	CLEANOUT	
	STORM MANHOLE/INLET	
	GAS METER/VALVE	
	ELECTRIC BOX/Vault/PEDESTAL/MANHOLE	
	ELECTRIC TRANSFORMER	
	TELEPHONE PEDESTAL/MANHOLE	
	LIGHT POLE, UTILITY POLE	
	LIGHT/TRAFFIC POLE	

PAVING LEGEND	
[Pattern]	PROPOSED LANDSCAPED AREA
[Pattern]	PROPOSED RIVER ROCK
[Pattern]	PROPOSED PCC SIDEWALK
[Pattern]	PROPOSED HEAVY DUTY PCC PAVEMENT
[Pattern]	PROPOSED HEAVY DUTY AC PAVEMENT
[Pattern]	PROPOSED STANDARD DUTY AC PAVEMENT
[Pattern]	PROPOSED TRUNCATED DOME DETECTABLE WARNING SURFACE
[Pattern]	PROPOSED STORMWATER BMP
[Pattern]	MILL AND OVERLAY
[Pattern]	STAMPED CONCRETE (DECORATIVE)

EXISTING LEGAL DESCRIPTION:

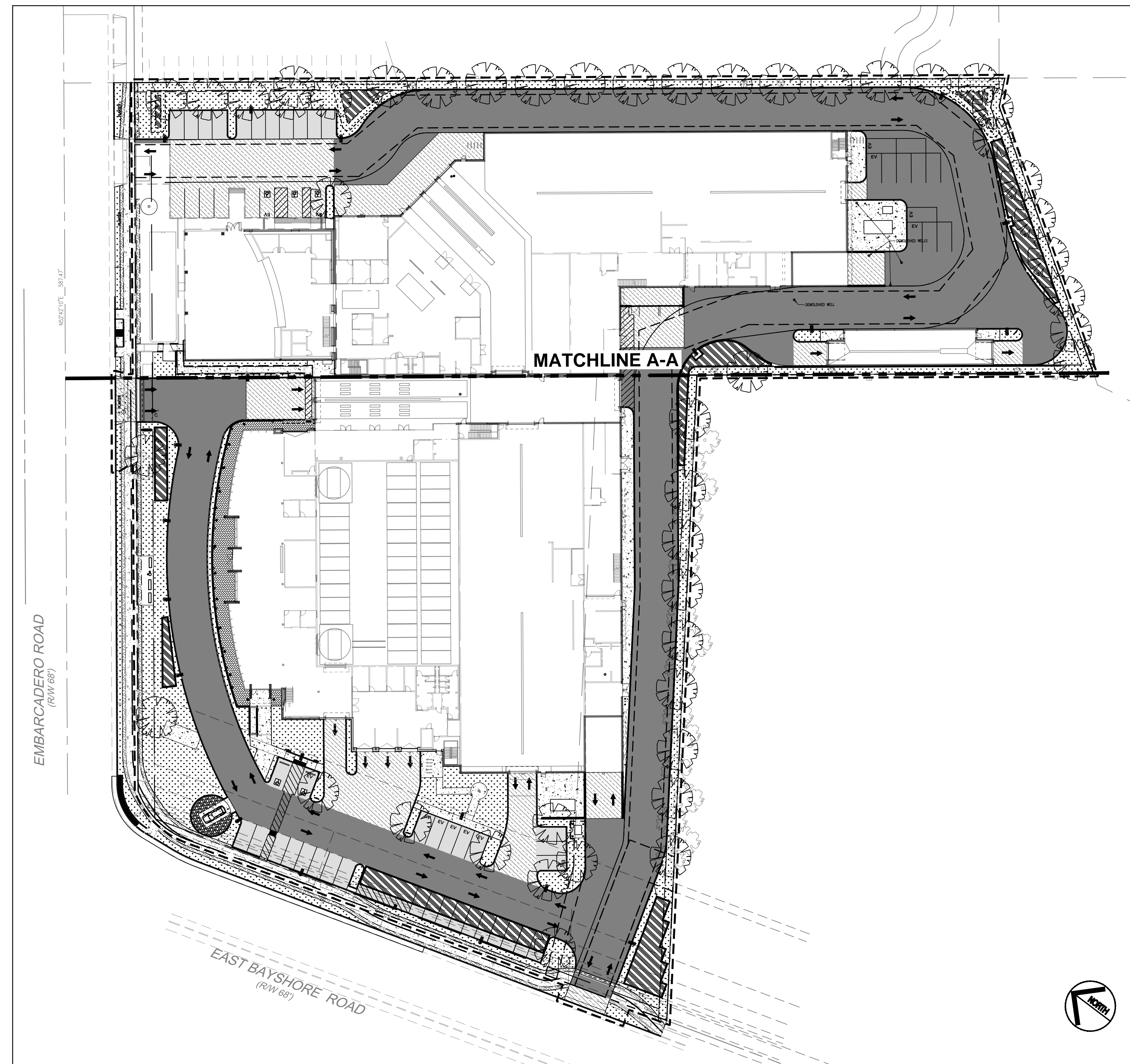
REAL PROPERTY IN THE CITY OF PALO ALTO, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL ONE:
PARCEL 4, AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED JULY 1, 1969 IN BOOK 255, PAGE 54 OF MAPS, RECORDS OF SANTA CLARA COUNTY, CALIFORNIA.

PARCEL TWO:
AN EXCLUSIVE EASEMENT: 20.00 FEET IN WIDTH FOR THE PURPOSE OF INGRESS AND EGRESS, AS CREATED BY THAT CERTAIN EASEMENT AGREEMENT DATED FEBRUARY 13, 1998 AND RECORDED FEBRUARY 13, 1998, INSTRUMENT NO. 14053158, UPON THE TERMS AND PROVISIONS CONTAINED THEREIN, THE CENTERLINE OF SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 1 OF THAT CERTAIN PARCEL MAP FILED APRIL 29, 1981 IN BOOK 483 OF MAPS, AT PAGE 40, OFFICIAL RECORDS OF SANTA CLARA COUNTY, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST EASTERLY CORNER OF THE AFOREMENTIONED PARCEL 1 (483 M 40), SAID MOST EASTERLY CORNER BEING A POINT ON THE SOUTHWESTERLY RIGHT OF WAY LINE OF FABER PLACE 60 FEET IN WIDTH AS SAID RIGHT OF WAY SHOWN ON THAT CERTAIN RECORD OF SANTA CLARA COUNTY; THENCE NORTHWESTERLY ALONG SAID SOUTHWESTERLY RIGHT OF WAY LINE ALONG THE ARC OF A 3030.00 FOOT RADIUS CURVE TO THE RIGHT, THE CENTER OF WHICH BEARS, NORTH 52°38'11" EAST THROUGH A CENTRAL ANGLE OF 3°11'03" AN ARC DISTANCE OF 186.02 FEET, TO THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE LEAVING SAID SOUTHWESTERLY RIGHT OF WAY LINE, SOUTH 52°06'34" WEST, 4.74 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF 20.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 35°21'55" AN ARC DISTANCE OF 12.34 FEET TO A POINT OF REVERSE CURVATURE; THENCE WESTERLY ALONG A 20.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 32°01'57", AND ARC DISTANCE OF 11.18 FEET; THENCE SOUTH 52°46'36" WEST, 82.58 FEET; THENCE WESTERLY AND SOUTHERLY ALONG THE ARC ON A 20.00 FEET RADIUS, TANGENT CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 90°13'34", AN ARC DISTANCE OF 31.49 FEET; THENCE SOUTH 37°26'58" EAST, 0.74 FEET; THENCE SOUTHERLY AND SOUTHWESTERLY ALONG THE ARC OF 20.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90°09'21", AN ARC DISTANCE OF 31.47 FEET; THENCE SOUTH 52°42'23" WEST, 181.99 FEET; THENCE SOUTHWESTERLY AND WESTERLY ALONG THE ARC OF A 20.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 67°04'48" AN ARC DISTANCE OF 23.42 FEET TO A POINT OF REVERSE CURVATURE; THENCE WESTERLY AND SOUTHWESTERLY ALONG ARC OF A 20.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 67°05'02", AN ARC DISTANCE OF 23.42 FEET; THENCE SOUTH 52°42'10" WEST 7.16 FEET TO THE WESTERLY LINE OF SAID PARCEL 1 (483 MAPS 40) AND THE SOUTHWESTERLY TERMINUS OF THE DESCRIPTION; THE SIDELINES OF SAID STRIP ARE TO BE SHORTENED OR LENGTHENED TO TERMINATE AT THE EASTERLY AND WESTERLY BOUNDARY LINE OF SAID PARCEL 1 (483 MAPS 40).



CIVIL ON-SITE CIVIL IMPROVEMENT PLANS / LIMITS OF CONSTRUCTION

SCALE: 1"=40'

ABBREVIATIONS

AC	ASPHALT CONCRETE	EX	EXISTING	MTR	METER	ST	STREET
ADA	AMERICANS WITH DISABILITIES ACT	FDC	FIRE DEPARTMENT CONNECTION	N	NORTH	STD	STANDARD
APN	ASSESSORS PARCEL NUMBER	FF	FINISHED FLOOR	NG	NATURAL GROUND	STLT	STREET LIGHT
APWA	AMERICAN PUBLIC WORKS ASSOCIATION	FG	FINISHED GRADE	N.I.C.	NOT IN CONTRACT	SW	SIDEWALK
AVE	AVENUE	FL	FIRE FLOW LINE	NO	NUMBER	T	TELEPHONE
BLDG	BUILDING	FND	FOUND	N.T.S.	NOT TO SCALE	TBM	TEMPORARY BENCHMARK
BLVD	BOULEVARD	FOC	FACE OF CURB	O.C.	ON CENTER	TC	TOP OF CURB
BOOK	BOOK	OH	OVERHEADS	PAV	PAVEMENT	TCD	TRAFFIC CONTROL DEVICE
BM	BENCHMARK	FP	FIRE PROTECTION FINISHED SURFACE	P	PARKWAY	TEV	TELEPHONE VAULT
BOP	BOTTOM OF PIPE	FS	FINISHED SURFACE	PB	PULL BOX	TL	TRAFFIC LIGHT
BSM	BIOTREATMENT SOIL MIX	FT	FEET	PCC	PORTLAND CEMENT CONCRETE	TOE	TOE OF SLOPE
C	CONCRETE	FW	FACE OF WALL CONCRETE	PP	POINT OF CONNECTION	TOP	TOP OF SLOPE / TOP OF PIPE
CA	CALIFORNIA	G	GAS	PP	POWER POLE	TS	TRAFFIC SIGNAL
CASQA	CALIFORNIA STORMWATER QUALITY ASSOCIATION	GB	GRADE BREAK	PVC	POLYVINYL CHLORIDE	TSPB	TRAFFIC SIGNAL PULL BOX
CB	CATCH BASIN	GDPE	HIGH-DENSITY POLYETHYLENE	RD	ROAD	TULT	TELEPHONE VAULT
CCTV	CLOSED-CIRCUIT TELEVISION	HWY	HIGHWAY	RPPA	REDUCED PRESSURE PRINCIPLE ASSEMBLY	TYP	TYPICAL
CL	CENTERLINE	HYD	HYDRANT	S	SLOPE / SANITARY / SOUTH	UE	UNDERGROUND ELECTRIC
CLR	CLEAR	IE	INVERT ELEVATION	SMH	SANITARY SEWER MANHOLE	UT	UNDERGROUND TELEPHONE
COMM	COMMUNICATION	INV	INVERT	SAN	SANITARY SEWER PVC	UTL	UTILITY
CONC	CONCRETE	IRV	IRRIGATION VALVE	SCE	SOUTHERN CALIFORNIA EDISON	VAT	VACUUM AIR TUBE
CULT	CULTIVATION	JP	JOINT POLE	SCG	SOUTHERN CALIFORNIA GAS	VLT	VAULT
DCV	DETECTOR CHECK VALVE	L	LENGTH	SDMH	STORM DRAIN MANHOLE	W	WEST
DCDA	DOUBLE CHECK DETECTOR	L/S	LANDSCAPE	SDR35	STANDARD DIMENSIONAL RATIO 35	W/	WITH
ASSEMBLY		LF	LINEAL FEET	SF	SQUARE FEET	WM	WATER METER
DIA	DIAMETER	LT	LIGHT	SL	STREET LIGHT	WTR	WATER LINE
DWG	DRAWING	LUM	LUMINAIRE	SLPB	STREET LIGHT PULL BOX	WV	WATER VALVE
E	ELECTRIC / EAST	MAX	MAXIMUM	SP	SPECIFIC PLAN	WVL	WATER VAULT
ECAB	ELECTRIC CABINET	MH	MANHOLE	SPEC	SPECIFICATION		
ELVT	ELECTRIC VAULT	MIN	MINIMUM	SSCO	SANITARY SEWER CLEAN OUT		
		MON	MONUMENT	SSMH	SANITARY SEWER MANHOLE		

CIVIL SHEET INDEX

C00.00	CIVIL COVER SHEET
C01.00	EXISTING CONDITIONS PLAN
C01.01	EXISTING CONDITIONS PLAN
C01.02	DEMOLITION PLAN
C01.03	DEMOLITION PLAN
C02.00	SITE AND PAVING PLAN
C02.01	SITE AND PAVING PLAN
C02.02	SITE CROSS SECTIONS
C03.00	GRADING AND DRAINAGE PLAN
C03.01	GRADING AND DRAINAGE PLAN
C04.00	STORM WATER CONTROL PLAN (SWCP)
C04.01	RELOCATED STORM SEWER PLAN AND PROFILE
C05.00	ON-SITE PRIVATE UTILITY PLAN
C05.01	ON-SITE PRIVATE UTILITY PLAN

SITE INFORMATION:

APN: 008-03-066, 008-03-084
ZONING: CS (D) - COMMERCIAL SERVICES
FLOOD ZONE: THE PROPERTY LIES WITHIN FLOOD ZONE 'AE' PER FIRM PANEL NO. 06085C00030H, DATED X, ZONE AE IS DEFINED AS AREAS DETERMINED TO BE INSIDE THE 100 YEAR FLOOD WITH A BASE ELEVATION OF 10.5.

SUMMARY:

PARCEL AREA	= 209,888± SF (4.82± ACRES)
TOTAL DISTURBED AREA	= 209,888± SF (4.82± ACRES)
TOTAL ON-SITE DISTURBED AREA	= 194,030± SF (4.45± ACRES)

ON-SITE AREA SUMMARY:

EXISTING IMPERVIOUS AREA	= 161,431± SF
EXISTING PERVIOUS AREA	= 32,196± SF
PROPOSED IMPERVIOUS AREA	= 164,968± SF
PROPOSED PERVIOUS AREA	= 29,922± SF
CHANGE IN IMPERVIOUS AREA	= 3,537± SF INCREASE

SURVEY NOTES:

- TOPOGRAPHIC SURVEY PROVIDED BY AMS & ASSOCIATES; RECEIVED APRIL 11, 2017. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT BM607 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD. ELEVATION = 8.91 FEET, NAVD83 DATUM.
- BASIS OF BEARINGS: THE TIE BETWEEN FOUND MONUMENTS ON FABER PLACE, TAKEN AS SOUTH 37° 17' 44" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

UTILITY LOCATION NOTE:

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SOILS REPORT NOTE:

REFER TO THE SOIL STUDY BY ROWING ENGINEERS, INC. TITLED, "GEO TECHNICAL INVESTIGATION FOR MERCEDES-BENZ DEALERSHIP, 1700/1730 EMBARCADERO ROAD, PALO ALTO, CALIFORNIA 94303," DATED AUGUST 2015. FOR ALL PROJECT SPECIFICATIONS, REQUIREMENTS, RECOMMENDATIONS AND PROCEDURES IN REGARDS TO PAVEMENT SECTIONS, PAD PREPARATION, SITE CLEARING REQUIREMENTS, OVEREXCAVATION, COMPACTION, SOIL REMEDIATION, ETC.

FLOOD ZONE NOTES:

- THE PROPOSED PROJECT IS A SUBSTANTIAL IMPROVEMENT AND SHALL COMPLY WITH PALO ALTO MUNICIPAL CODE CHAPTER 16.52 FLOOD HAZARD REGULATIONS AND FEMA'S REQUIREMENTS.
- ASSESSOR'S PARCEL 008-03-065 IS LOCATED WITHIN FEMA'S SPECIAL FLOOD HAZARD AREA ZONE AE WHERE THE BASE FLOOD ELEVATION (BFE) WAS DETERMINED TO BE 10.5 AS SHOWN ON THE FIRM PANEL NUMBER 06085C00030H DATED MAY 18, 2009.

TREE PROTECTION NOTES:

- ALL TREE PROTECTION AND INSPECTION SCHEDULE MEASURES, DESIGN RECOMMENDATIONS, WATERING AND CONSTRUCTION SCHEDULING SHALL BE IMPLEMENTED IN FULL BY OWNER AND CONTRACTOR, AS STATED ON SHEET T-1, IN THE TREE PROTECTION REPORT, AND THE APPROVED PLANS.
- UTILITY TRENCHING SHALL NOT OCCUR WITHIN THE TPZ OF PROTECTED TREES. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT NO TRENCHING OCCURS WITHIN THE TPZ OF THE PROTECTED TREES BY CONTRACTORS, CITY CREWS OR FINAL LANDSCAPE WORKERS.
- PRUNING RESTRICTIONS - NO PRUNING OR CLEARANCE CUTTING OF BRANCHES IS PERMITTED ON CITY TREES. CONTRACTOR SHALL OBTAIN A PUBLIC TREE PERMIT FROM URBAN FORESTRY (650-496-5953) FOR ANY WORK ON TREES.
- EXCAVATION ACTIVITIES ASSOCIATED WITH THE PROPOSED SCOPE OF WORK SHALL OCCUR NO CLOSER THAN THE RESPECTIVE DRIP LINES FROM THE EXISTING STREET TREE, OR AS APPROVED BY THE URBAN FORESTRY DIVISION CONTACT 650-496-5953. ANY CHANGES SHALL BE APPROVED BY THE SAME.

WORK IN THE RIGHT OF WAY NOTES:

- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET OPENING PERMIT PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATED TO KEEP MATERIALS AND EQUIPMENT ON-SITE OR WITHIN PRIVATE PROPERTY.

Client:
Holman Automotive

1730 Embarcadero Rd
Palo Alto, CA 94303

Project:
MERCEDES BENZ / AUDI of PALO ALTO

1730 Embarcadero Rd
Palo Alto, CA 94303

Project Number: 17019
Drawn By: AJH/MRJ
Checked By: RVP
Approved By: RVP

Sheet Title:
CIVIL COVER SHEET

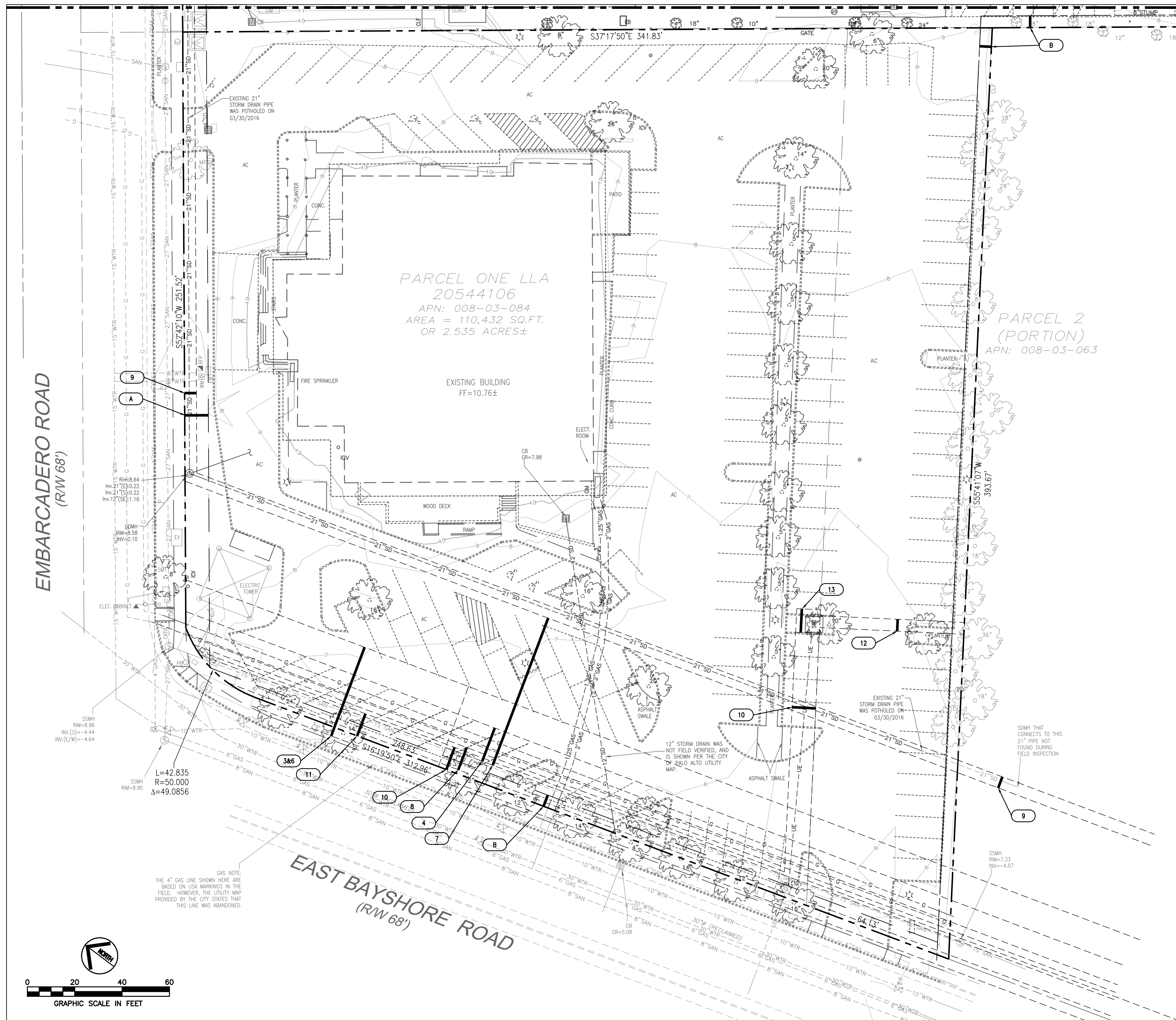
Sheet Number:
C00.00



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MATCHLINE A-A: SEE SHEET C01.01



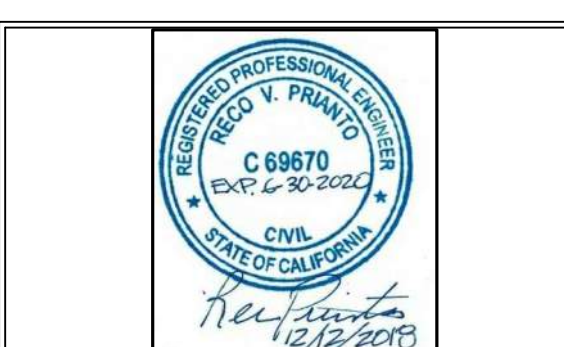
PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
9	1-FOOT CONTOUR	9
10	5-FOOT CONTOUR	10
WTR	WATER LINE	WTR
FP	FIRE PROTECTION WATER LINE	FP
SS	SANITARY SEWER LINE	SAN
SD	STORM DRAIN LINE	SD
OE	OVERHEAD ELECTRIC	OE
UE	UNDERGROUND ELECTRIC	UE
2"G	GAS LINE (INSTALLED BY CPAU FORCES)	G
X	FENCE	X
+	TREE	+
+	SIGN	+
+	FIRE HYDRANT	+
+	WATER METER/VALVE	+
+	WATER BACK FLOW PREVENTER	+
+	SEWER MANHOLE	+
+	CLEANOUT	+
+	STORM MANHOLE/INLET	+
+	GAS METER/VALVE	+
+	ELECTRIC BOX/WAULT/PEDESTAL/MANHOLE	+
+	ELECTRIC TRANSFORMER	+
+	TELEPHONE PEDESTAL/MANHOLE	+
+	LIGHT POLE, UTILITY POLE	+
+	LIGHT/TRAFFIC POLE	+

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Z4	12/12/18	Planning Review

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EASEMENT KEY NOTES

- ORIGINAL 40' WIDE EASEMENT FOR DOUBLE LINE OF POLES AND WIRES TO STANDARD ELECTRIC CO. BY DECREE IN CONDEMNATION OCT. 18, 1904 OF SANTA CLARA COUNTY SUPERIOR COURT CASE NO. 13,815.
- EXISTING 15' PG&E GAS LINE EASEMENT PER (468 O.R. 94).
- EXISTING 40' PG&E GAS METERING EASEMENT PER (656 O.R. 394).
- EXISTING 60' PG&E TOWER LINE AND STEEL POLE LINE EASEMENT PER (790 O.R. 287).
- EXISTING 10' CITY OF PALO ALTO SANITARY SEWER LINE EASEMENT PER (4441 O.R. 568).
- EXISTING 5' CITY OF PALO ALTO STORM DRAINAGE EASEMENT PER (6138 O.R. 331).
- EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8047 O.R. 634).
- EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8054 O.R. 680).
- EXISTING 5' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8517 O.R. 596).
- EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8535 O.R. 632).
- EXISTING 15' X 9' CITY OF PALO ALTO PUBLIC UTILITY EASEMENT (M908 O.R. 0048).
- EXISTING 20' PRIVATE ACCESS EASEMENT (DOC. NO. 23442600).

SETBACK KEY NOTES

- (A) EXISTING 10' FRONT LANDSCAPE SETBACK
- (B) EXISTING 5' SIDE/REAR LANDSCAPE SETBACK

SOILS REPORT NOTE:

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CALL 811 OR 1-800-227-2600

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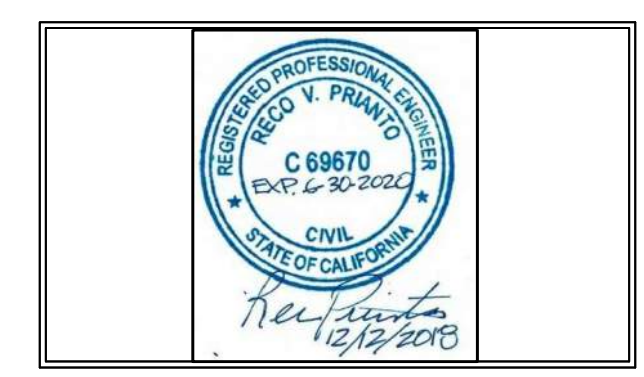
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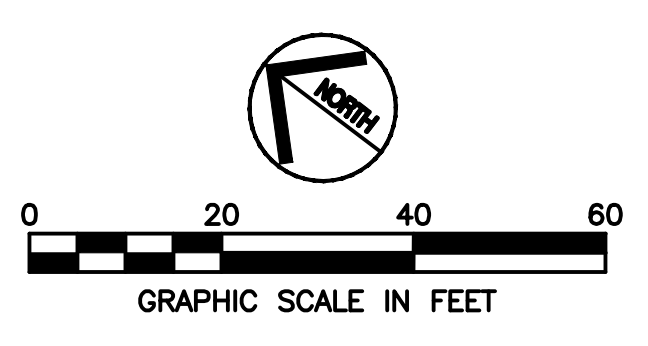
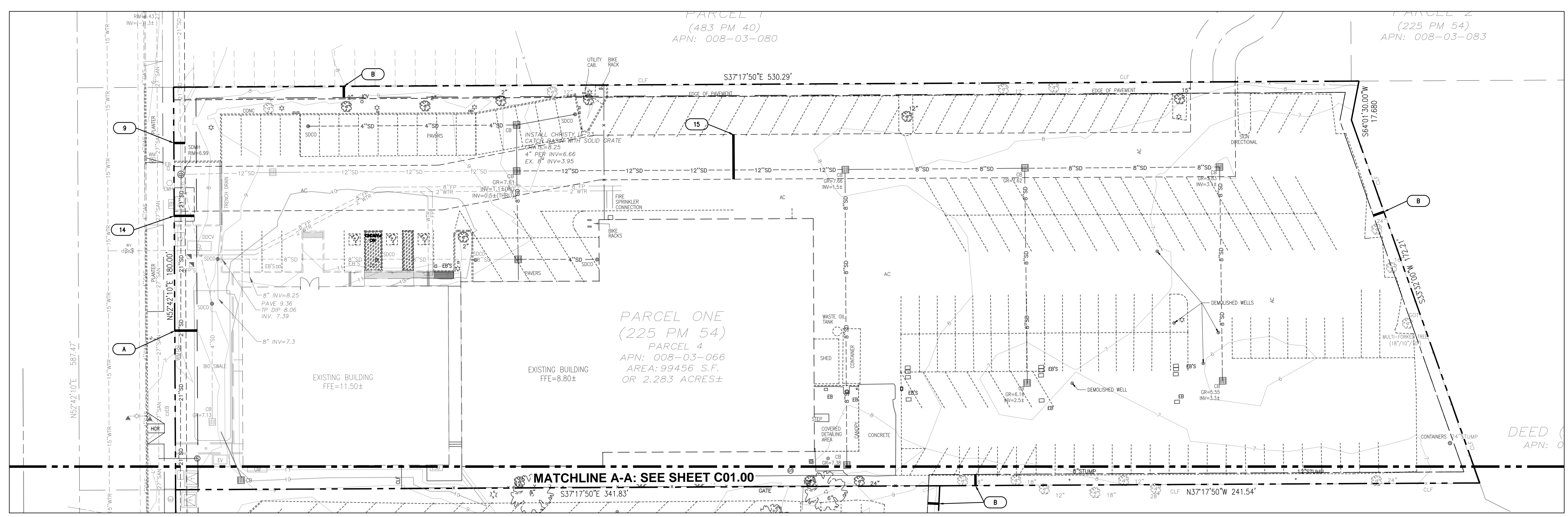
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UE	UNDERGROUND ELECTRIC	UE
2"G	GAS LINE (INSTALLED BY CPAU FORCES)	G
X	FENCE	X
	TREE	Tree Symbol
	SIGN	Sign Symbol
	FIRE HYDRANT	Fire Hydrant Symbol
	WATER METER/VALVE	Water Meter Symbol
	WATER BACK FLOW PREVENTER	Water Back Flow Symbol
	SEWER MANHOLE	Sewer Manhole Symbol
	CLEANOUT	Cleanout Symbol
	STORM MANHOLE/INLET	Storm Manhole Symbol
	GAS METER/VALVE	Gas Meter Symbol
	ELECTRIC BOX/WAULT/PEDESTAL/MANHOLE	Electric Box Symbol
	ELECTRIC TRANSFORMER	Electric Transformer Symbol
	TELEPHONE PEDESTAL/MANHOLE	Telephone Pedestal Symbol
	LIGHT POLE, UTILITY POLE	Light Pole Symbol
	LIGHT/TRAFFIC POLE	Light/Traffic Pole Symbol

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REFER TO THE SOIL STUDY BY ROMIG ENGINEERS, INC. TITLED, "GEO TECHNICAL INVESTIGATION FOR MERCEDES-BENZ DEALERSHIP 1700 EMBARCADERO ROAD, PALO ALTO, CALIFORNIA 94303," DATED AUGUST, 2015, FOR ALL PROJECT SPECIFICATIONS, REQUIREMENTS, RECOMMENDATIONS AND PROCEDURES IN REGARDS TO PAVEMENT SECTIONS, PAD PREPARATION, SITE CLEARING REQUIREMENTS, OVEREXCAVATION, COMPACTION, SOIL REMEDIATION, ETC.

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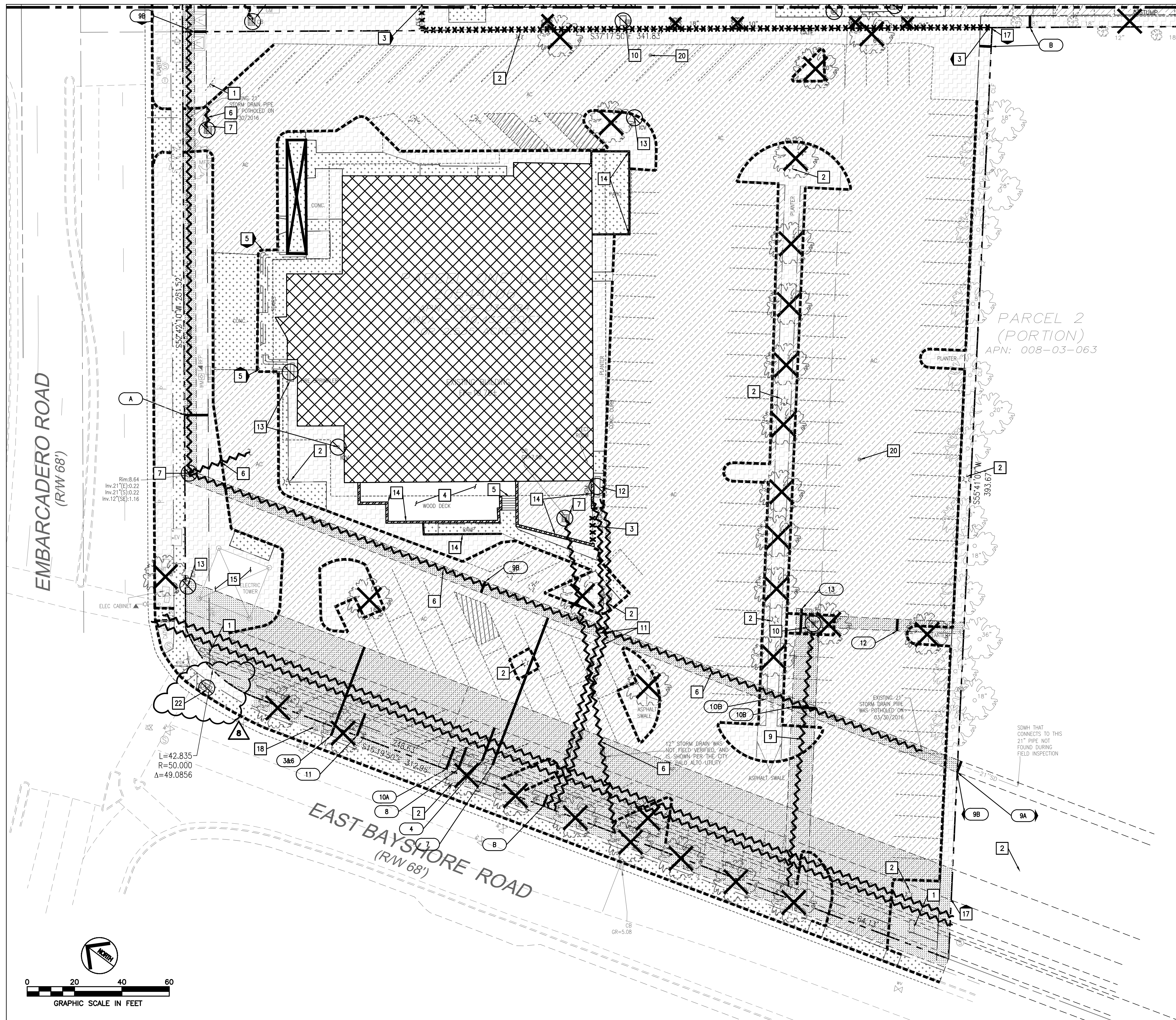
Project:
MERCEDES BENZ / AUDI of PALO ALTO

1730 Embarcadero Rd
 Palo Alto, CA 94303

Project Number: 17019
 Drawn By: AJH/MRJ
 Checked By: RVP
 Approved By: RVP

Sheet Title:
EXISTING CONDITIONS PLAN

Sheet Number:
C01.01



PROPOSED

LEGEND

EXISTING

DEMOLITION PLAN KEY NOTES

DEMOLITION PLAN KEY NOTES

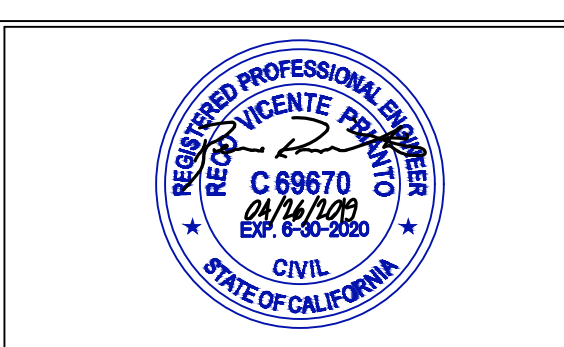
DEMOLITION PLAN KEY NOTES

ysm DESIGN
 RETAIL/AUTOMOTIVE ARCHITECTURE

1320 Ellsworth Industrial Blvd
 Suite A-100
 Atlanta GA 30318
 404-249-4555 tel
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www.ysmdesign.com

CALICHI DESIGN GROUP
 1 N. LASALLE SUITE 3950
 CHICAGO, IL 60662
 (312) 940-4393
 www.CALICHI.COM



Rev	Date	Comments
1	05/07/18	ARB Submittal
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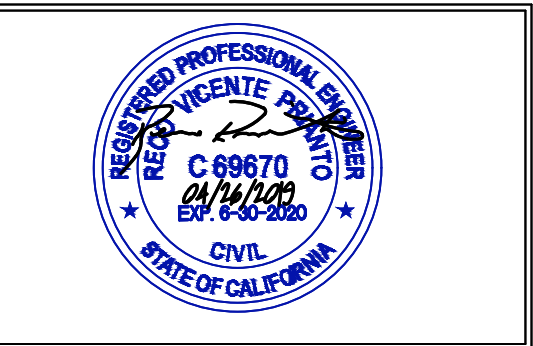
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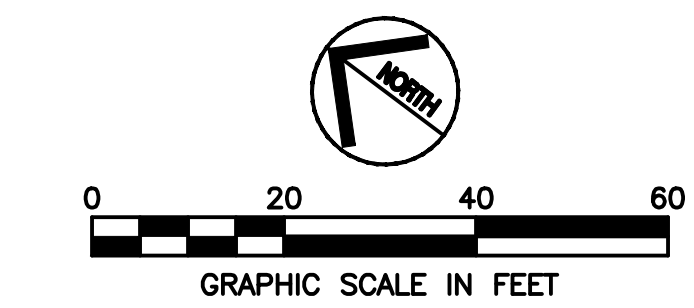
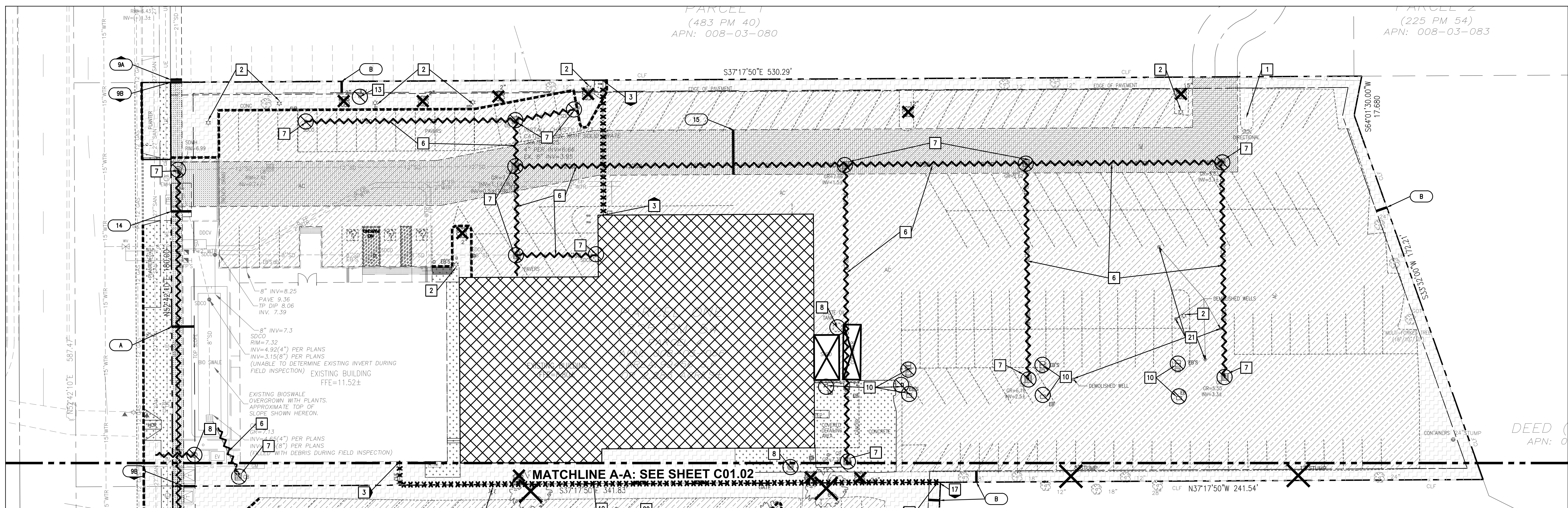
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 Checked By: RVP
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Sheet Title:
DEMOLITION PLAN

Sheet Number:
C01.02



Rev	Date	Comments
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PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
9	1-FOOT CONTOUR	9
10	5-FOOT CONTOUR	10
WTR	WATER LINE	WTR
FP	FIRE PROTECTION WATER LINE	FP
SS	SANITARY SEWER LINE	SS
SD	STORM DRAIN LINE	SD
OE	OVERHEAD ELECTRIC	OE
UE	UNDERGROUND ELECTRIC	UE
2"G	GAS LINE (INSTALLED BY CPAU FORCES)	2"G
X	FENCE	X
	TREE	
	SIGN	
	FIRE HYDRANT	
	WATER METER/VALVE	
	WATER BACK FLOW PREVENTER	
	SEWER MANHOLE	
	CLEANOUT	
	STORM MANHOLE/INLET	
	GAS METER/VALVE	
	ELECTRIC BOX/VAULT/PEDESTAL/MANHOLE	
	ELECTRIC TRANSFORMER	
	TELEPHONE PEDESTAL/MANHOLE	
	LIGHT POLE, UTILITY POLE	
	LIGHT/TRAFFIC POLE	

DEMOLITION LEGEND	
[Pattern]	CLEAR AND GRUB EXISTING LANDSCAPE AREA. DO NOT DISTURB TREES, UNLESS OTHERWISE INDICATED.
[Pattern]	DEMOLITION AND REMOVE ASPHALT PAVEMENT, FULL DEPTH - INCLUDING BASE MATERIALS.
[Pattern]	DEMOLITION AND REMOVE CONCRETE PAVEMENT, FULL DEPTH - INCLUDING BASE MATERIALS.
[Pattern]	RAZE EXISTING BUILDING AND FOUNDATION, FULL DEPTH - INCLUDING BASE MATERIALS.
[Pattern]	FULL DEPTH PAVEMENT SAWCUT AND CONFORM TO A CLEAN, NEAT EDGE. FOR P.C. CONCRETE, EXTEND SAWCUT TO NEAREST SCORE MARK.
[Pattern]	DEMOLITION AND REMOVE EXISTING CURB AND GUTTER - INCLUDING BASE MATERIALS.
[Pattern]	DEMOLITION AND REMOVE EXISTING WALL, FULL DEPTH - INCLUDING BASE MATERIALS.
[Pattern]	DEMOLITION AND REMOVE EXISTING FENCE.
[Pattern]	DEMOLITION AND REMOVE EXISTING UTILITY.
[Pattern]	DEMOLITION AND REMOVE EXISTING TREE, INCLUDING ROOT BALL.
[Pattern]	DEMOLITION AND REMOVE EXISTING UTILITY STRUCTURE.
[Pattern]	DEMOLITION AND REMOVE EXISTING SHED OR SHIPPING CONTAINER.
[Pattern]	EASEMENT TO BE VACATED AS A PART OF THIS PROJECT.

DEMOLITION PLAN KEY NOTES	
1	DEMOLITION AND REMOVE EXISTING SIGN
2	DEMOLITION AND REMOVE EXISTING LIGHT POLE, REUSE OR RELOCATE IF POSSIBLE
3	DEMOLITION AND REMOVE EXISTING FENCE
4	DEMOLITION AND REMOVE EXISTING WOOD DECK
5	DEMOLITION AND REMOVE EXISTING STAIRS
6	DEMOLITION AND REMOVE EXISTING STORM LINE
7	DEMOLITION AND REMOVE EXISTING STORM STRUCTURE
8	DEMOLITION AND REMOVE EXISTING SANITARY STRUCTURE
9	DEMOLITION AND REMOVE EXISTING BURIED ELECTRICAL UTILITY LINE
10	DEMOLITION AND REMOVE EXISTING ELECTRICAL UTILITY EQUIPMENT / VAULTS
11	DEMOLITION AND REMOVE EXISTING BURIED GAS LINE
12	DEMOLITION AND REMOVE EXISTING GAS UTILITY EQUIPMENT
13	DEMOLITION AND REMOVE EXISTING WATER UTILITY STRUCTURE
14	DEMOLITION AND REMOVE EXISTING WALL
15	EXISTING ELECTRICAL TOWER TO REMAIN - PROTECT IN PLACE
16	EXISTING FIRE HYDRANT TO REMAIN - PROTECT IN PLACE
17	EXISTING FENCE TO REMAIN - PROTECT IN PLACE
18	RELOCATE EXISTING FIRE HYDRANT
19	EXISTING WELL PER STATE OF CALIFORNIA DEPARTMENT OF WATER RESOURCES. PROTECT IN PLACE/ADJUST TO FINISHED GRADE.
20	EXISTING WELL PER STATE OF CALIFORNIA DEPARTMENT OF WATER RESOURCES. RELOCATION IS REQUIRED.
21	APPROXIMATE LOCATION OF PREVIOUSLY DEMOLISHED WELL.
22	EXISTING TELECOM VAULT TO BE RELOCATED. SEE SHEET C05.00 FOR REVISED LOCATION.

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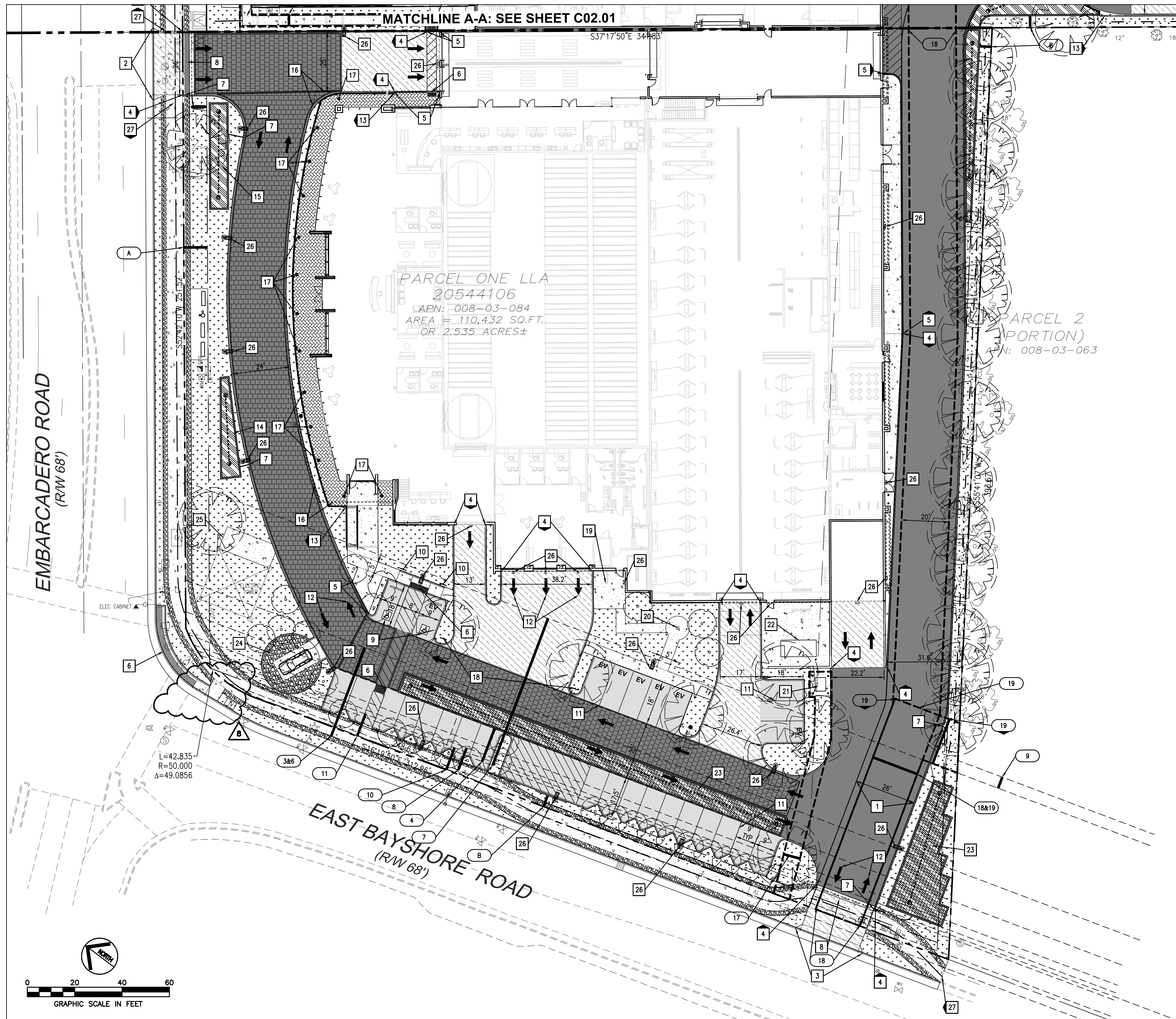
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Project Number: 17019
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Approved By: RVP

Sheet Title:
DEMOLITION PLAN

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C01.03



PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
9	1-FOOT CONTOUR	9
10	5-FOOT CONTOUR	10
---	WATER LINE	---
WTR	FIRE PROTECTION WATER LINE	WTR
FP	SANITARY SEWER LINE	---
SS	STORM DRAIN LINE	---
SD	OVERHEAD ELECTRIC	---
OE	UNDERGROUND ELECTRIC	---
UE	GAS LINE (INSTALLED BY CP&U FORCES)	---
2"G	FENCE	X
X	TREE	---
---	SIGN	---
---	FIRE HYDRANT	---
---	WATER METER/VALVE	---
---	WATER BACK FLOW PREVENTER	---
---	SEWER MANHOLE	---
---	CLEANOUT	---
---	STORM MANHOLE/INLET	---
---	GAS METER/VALVE	---
---	ELECTRIC BOX/VAULT/PEDESTAL/MANHOLE	---
---	ELECTRIC TRANSFORMER	---
---	TELEPHONE PEDESTAL/MANHOLE	---
---	LIGHT POLE, UTILITY POLE	---
---	LIGHT/TRAFFIC POLE	---

SITE PLAN LEGEND	
---	EASEMENT WIDTH INDICATOR
---	PROPOSED LANDSCAPED AREA
---	PROPOSED RIVER ROCK
---	PROPOSED PCC SIDEWALK
---	PROPOSED HEAVY DUTY PCC PAVEMENT
---	PROPOSED HEAVY DUTY AC PAVEMENT
---	PROPOSED STANDARD DUTY AC PAVEMENT
---	PROPOSED TRUNCATED DOME DETECTABLE WARNING SURFACE
---	PROPOSED STORMWATER BMP
---	MILL AND OVERLAY
---	PROPOSED FLUSH CURB
---	STAMPED CONCRETE (DECORATIVE)
---	TREE PROTECTION FENCING
---	HEAVY DUTY AC WITH PAVING PATTERN, SEE LANDSCAPE PLANS FOR DETAILS

SITE PLAN KEY NOTES	
1	PROPOSED 26 FOOT WIDE FIRE LANE.
2	PROPOSED DRIVEWAY TYPE "A" CURB & GUTTER PER PALO ALTO STANDARD DETAIL 120.
3	PROPOSED DRIVEWAY TYPE "A" CURB WITH ADJACENT BIKEPATH.
4	PROPOSED 6" TALL PCC BARRIER CURB.
5	PROPOSED FLUSH (0" HEIGHT) CURB.
6	PROPOSED ACCESSIBLE CURB RAMP (WITH TRUNCATED DOME WARNING SURFACE ONLY WHEN ADJACENT TO VEHICULAR RIGHT-OF-WAY).
7	PROPOSED 2' WIDE CURB CUT FOR STORM WATER CONVEYANCE.
8	PROPOSED 2' WIDE VALLEY GUTTER - MODIFIED PALO ALTO STANDARD DRAWING 132A.
9	PROPOSED ACCESSIBLE PARKING STALL, WITH PCC WHEELSTOP, ACCESSIBLE LOADING AREA, AND ACCESSIBLE MARKINGS PER STATE OF CALIFORNIA TITLE 24.
10	PROPOSED ACCESSIBLE SIGNAGE.
11	PROPOSED 4" PARKING STALL STRIPE, TRAFFIC WHITE PAINT, MINIMUM TWO COATS. (TYP)
12	PROPOSED DIRECTIONAL ARROW AND/OR TEXT, TRAFFIC WHITE PAINT, MINIMUM TWO COATS. DIMENSIONS PER MUTCD STANDARDS. (TYP)
13	PROPOSED STRUCTURAL RETAINING WALL.
14	PROPOSED TREATMENT CONTROL BIORETENTION PLANTER WITH 4" PERFORATED PVC UNDERDRAIN. SEE SHEET C03.00 FOR DETAILS. SEE LANDSCAPE PLANS FOR PLANTINGS.
15	PROPOSED BIORETENTION BASIN. SEE SHEET C03.00 FOR DETAILS. SEE LANDSCAPE PLANS FOR PLANTINGS.
16	PROPOSED LIMITS OF BUILDING OVERHANG.
17	PROPOSED BUILDING COLUMN. (TYP)
18	PROPOSED "EXIT ONLY DO NOT ENTER" SIGN.
19	PROPOSED BICYCLE RACKS. SEE ARCHITECTURAL PLANS FOR DETAILS.
20	PROPOSED FLAGPOLE. SEE ARCHITECTURAL PLANS FOR DETAILS.
21	PROPOSED TRANSFORMER ON CONCRETE PAD.
22	PROPOSED GENERATOR ON CONCRETE PAD.
23	PROPOSED FLOW-THROUGH PLANTER WITH 4" PERFORATED PVC UNDERDRAIN AND DRIVING SURFACE GRATE. SEE SHEET C03.00 FOR DETAILS. SEE LANDSCAPE PLANS FOR PLANTINGS.
24	PROPOSED FLUSH VEHICLE DISPLAY.
25	CONCRETE PAD TO BE CONSTRUCTED PER PG&E DIRECTION.
26	PROPOSED LIGHTING FIXTURE. SEE ARCHITECTURAL AND LIGHTING PLANS.
27	PROPOSED 8' WIDE MULTI-USE PATH W/ 2' GRAVEL SHOULDERS.
28	PROPOSED BARRIER FENCE ON TOP OF PLANTER WALL.

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF PALO ALTO, CALTRANS, STATE OF CALIFORNIA TITLE 24 AND SANTA CLARA COUNTY STANDARDS AND SPECIFICATIONS.
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- ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND CALTRANS STANDARDS, OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

WORK IN THE RIGHT OF WAY NOTE:

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- CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATED TO KEEP MATERIALS AND EQUIPMENT ONSITE OR WITHIN PRIVATE PROPERTY.

FLOOD ZONE NOTES:

- THE PROPOSED PROJECT IS A SUBSTANTIAL IMPROVEMENT AND SHALL COMPLY WITH PALO ALTO MUNICIPAL CODE CHAPTER 16.52 FLOOD HAZARD REGULATIONS AND FEMA'S REQUIREMENTS.
- ASSESSOR'S PARCEL 008-03-065 IS LOCATED WITHIN FEMA'S SPECIAL FLOOD HAZARD AREA ZONE AE WHERE THE BASE FLOOD ELEVATION (BFE) WAS DETERMINED TO BE 10.5 AS SHOWN ON THE FIRM PANEL NUMBER 06085C0030H DATED MAY 18, 2009.

SURVEY NOTES:

- TOPOGRAPHIC SURVEY PROVIDED BY AMS & ASSOCIATES; RECEIVED APRIL 11, 2017. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT BM607 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD. ELEVATION = 8.91 FEET, NAVD88 DATUM.
- BASIS OF BEARINGS: THE TIE BETWEEN FOUND MONUMENTS ON FABER PLACE, TAKEN AS SOUTH 37° 17' 44" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

UTILITY LOCATION NOTE:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF CITY OF PALO ALTO RECORDS, AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN HEREON. THE EXISTING 21" STORM DRAIN WAS POTHOLED ON 3-30-16, AND ITS LOCATION AND DEPTH DETERMINED.

EASEMENT KEY NOTES

- ORIGINAL 40' WIDE EASEMENT FOR DOUBLE LINE OF POLES AND WIRES TO STANDARD ELECTRIC CO. BY DECREE IN CONDEMNATION OCT. 18, 1904 OF SANTA CLARA COUNTY SUPERIOR COURT CASE NO. 13,815.
- EXISTING 15' PG&E GAS LINE EASEMENT PER (468 O.R. 94) TO BE VACATED AS A PART OF THIS PROJECT.
- EXISTING 40' PG&E GAS METERING EASEMENT PER (656 O.R. 394) TO BE VACATED AS A PART OF THIS PROJECT.
- EXISTING 60' PG&E TOWER LINE AND STEEL POLE LINE EASEMENT PER (790 O.R. 287).
- EXISTING 10' CITY OF PALO ALTO SANITARY SEWER LINE EASEMENT PER (4441 O.R. 568).
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- EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8047 O.R. 634).
- EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8054 O.R. 680).
- EXISTING 15' X 9' CITY OF PALO ALTO PUBLIC UTILITY EASEMENT (M908 O.R. 0040).
- PROPOSED 5' WIDE ACCESS EASEMENT FROM MB BUILDING TO EMBARCADERO ROAD ROW.
- PROPOSED ELECTRICAL SERVICE DUCT BANK EASEMENT. EASEMENT WIDTH TO BE WIDTH OF DUCT BANK PLUS 2.5' ON EITHER SIDE.
- PROPOSED 20' WIDE ACCESS EASEMENT TO BE DEDICATED AS A PART OF THIS PROJECT.
- PROPOSED 20' WIDE STORM DRAIN EASEMENT.

SETBACK KEY NOTES

- A EXISTING 10' FRONT LANDSCAPE SETBACK
- B EXISTING 5' SIDE/REAR LANDSCAPE SETBACK

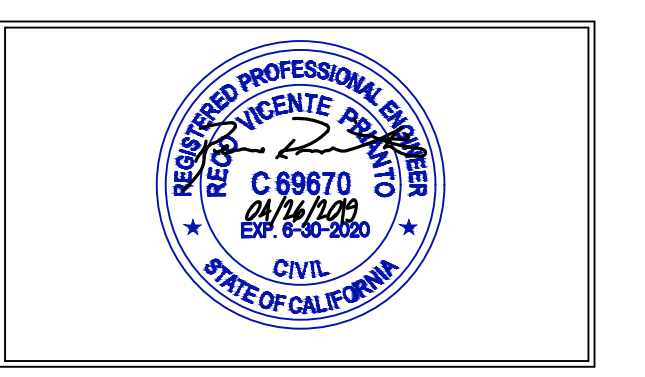
SOILS REPORT NOTE:

REFER TO THE SOIL STUDY BY ROMIG ENGINEERS, INC. TITLED, "GEO TECHNICAL INVESTIGATION FOR MERCEDES-BENZ DEALERSHIP 1700 EMBARCADERO ROAD, PALO ALTO, CALIFORNIA 94303," DATED AUGUST, 2015, FOR ALL PROJECT SPECIFICATIONS, REQUIREMENTS, RECOMMENDATIONS AND PROCEDURES IN REGARDS TO PAVEMENT SECTIONS, PAD PREPARATION, SITE CLEARING REQUIREMENTS, OVERCAVATION, COMPACTION, SOIL REMEDIATION, ETC.

CALL 811 OR 1-800-227-2600
CALL BEFORE YOU DIG
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 (312) 940-4393
 WWW.CALICHI.COM



Rev	Date	Comments
1	05/07/18	ARB Submittal
Z1	07/26/18	ARB Resubmittal No.1
Z2	09/11/18	ARB Resubmittal No.2
Z3	10/10/18	ARB Resubmittal No.3
Z4	12/12/18	Planning Review
Z5	02/04/19	Planning Review
Z6	03/27/19	Planning Commission
Z7	04/26/19	Planning Commission
Z8	11/05/19	Planning Commission

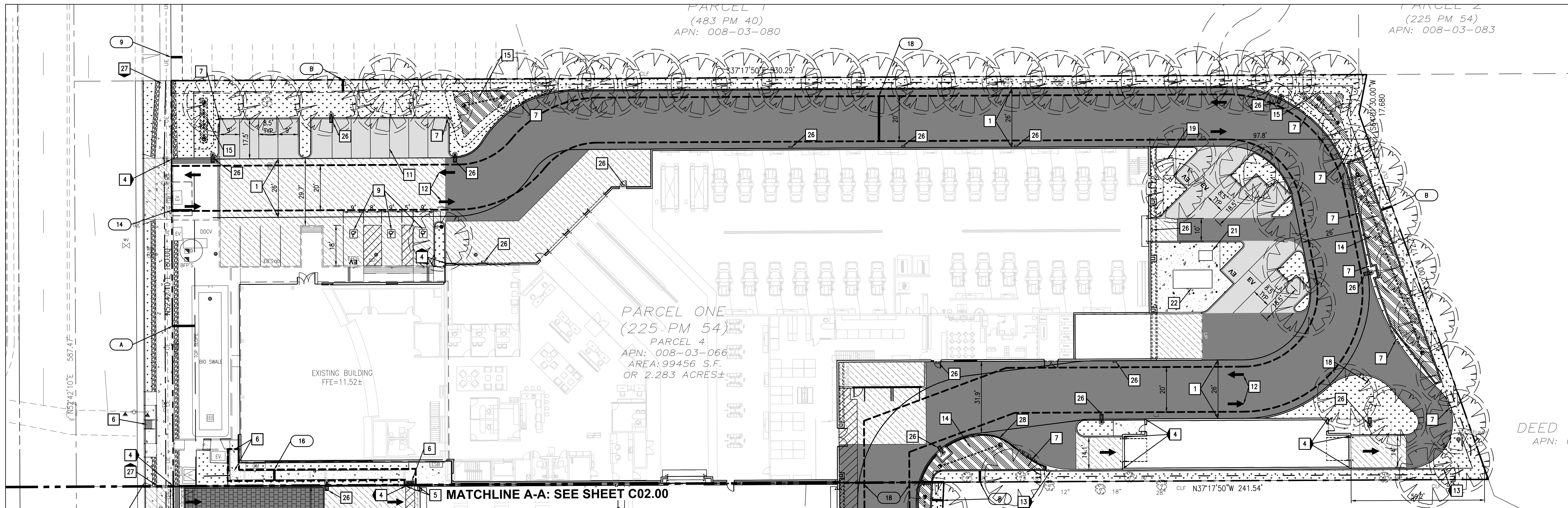
Client:
Holman Automotive
 1730 Embarcadero Rd
 Palo Alto, CA 94303

Project:
MERCEDES BENZ / AUDI of PALO ALTO
 1730 Embarcadero Rd
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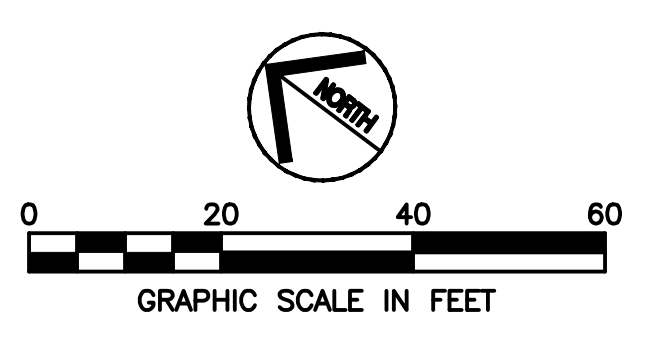
Project Number: 17019
 Drawn By: AJH/MRJ
 Checked By: RVP
 Approved By: RVP

Sheet Title:
SITE AND PAVING PLAN

Sheet Number:
C02.00



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PROPOSED	LEGEND	EXISTING
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---	SETBACK LINE	---
9	1-FOOT CONTOUR	9
10	5-FOOT CONTOUR	10
WTR	WATER LINE	WTR
FP	FIRE PROTECTION WATER LINE	FP
SS	SANITARY SEWER LINE	SS
SD	STORM DRAIN LINE	SD
OE	OVERHEAD ELECTRIC	OE
UE	UNDERGROUND ELECTRIC	UE
2" G	GAS LINE (INSTALLED BY CP&U FORCES)	2" G
X	FENCE	X
●	TREE	●
+	SIGN	+
●	FIRE HYDRANT	●
○	WATER METER/VALVE	○
○	WATER BACK FLOW PREVENTER	○
○	SEWER MANHOLE	○
○	CLEANOUT	○
○	STORM MANHOLE/INLET	○
○	GAS METER/VALVE	○
□	ELECTRIC BOX/VAULT/PEDESTAL/MANHOLE	□
□	ELECTRIC TRANSFORMER	□
□	TELEPHONE PEDESTAL/MANHOLE	□
□	LIGHT POLE, UTILITY POLE	□
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EXISTING	SITE PLAN LEGEND
---	EASEMENT WIDTH INDICATOR
●	PROPOSED LANDSCAPED AREA
●	PROPOSED RIVER ROCK
●	PROPOSED PCC SIDEWALK
●	PROPOSED HEAVY DUTY PCC PAVEMENT
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- ### SITE PLAN KEY NOTES
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 - PROPOSED DRIVEWAY TYPE "A" CURB & GUTTER PER PALO ALTO STANDARD DETAIL 120.
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 - PROPOSED 20' WIDE STORM DRAIN EASEMENT.

- ### SETBACK KEY NOTES
- EXISTING 10' FRONT LANDSCAPE SETBACK
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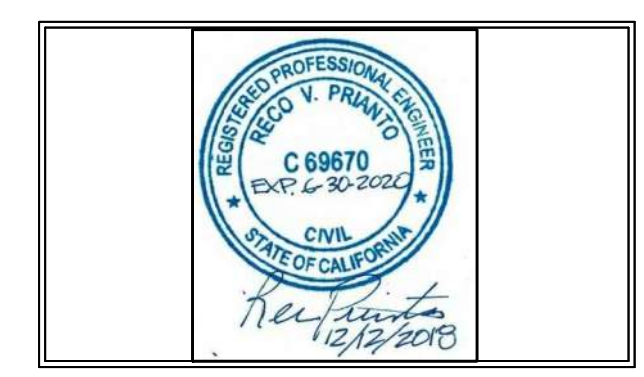
Project:
MERCEDES BENZ / AUDI of PALO ALTO

1730 Embarcadero Rd
 Palo Alto, CA 94303

Project Number: 17019
 Drawn By: AJH/MRJ
 Checked By: RVP
 Approved By: RVP

Sheet Title:
SITE AND PAVING PLAN

Sheet Number:
C02.01



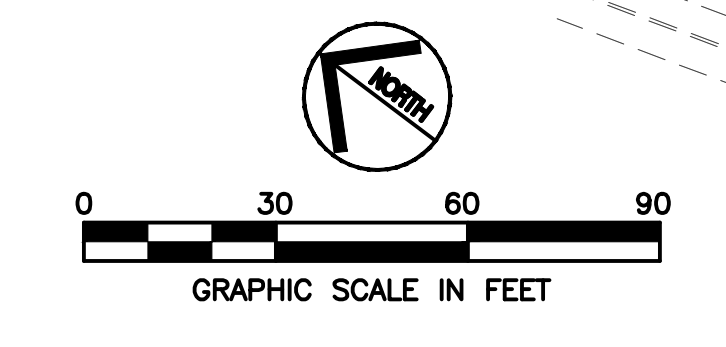
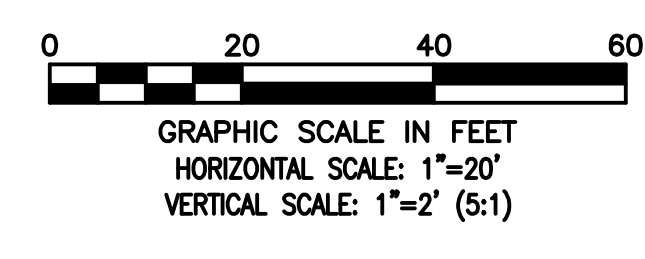
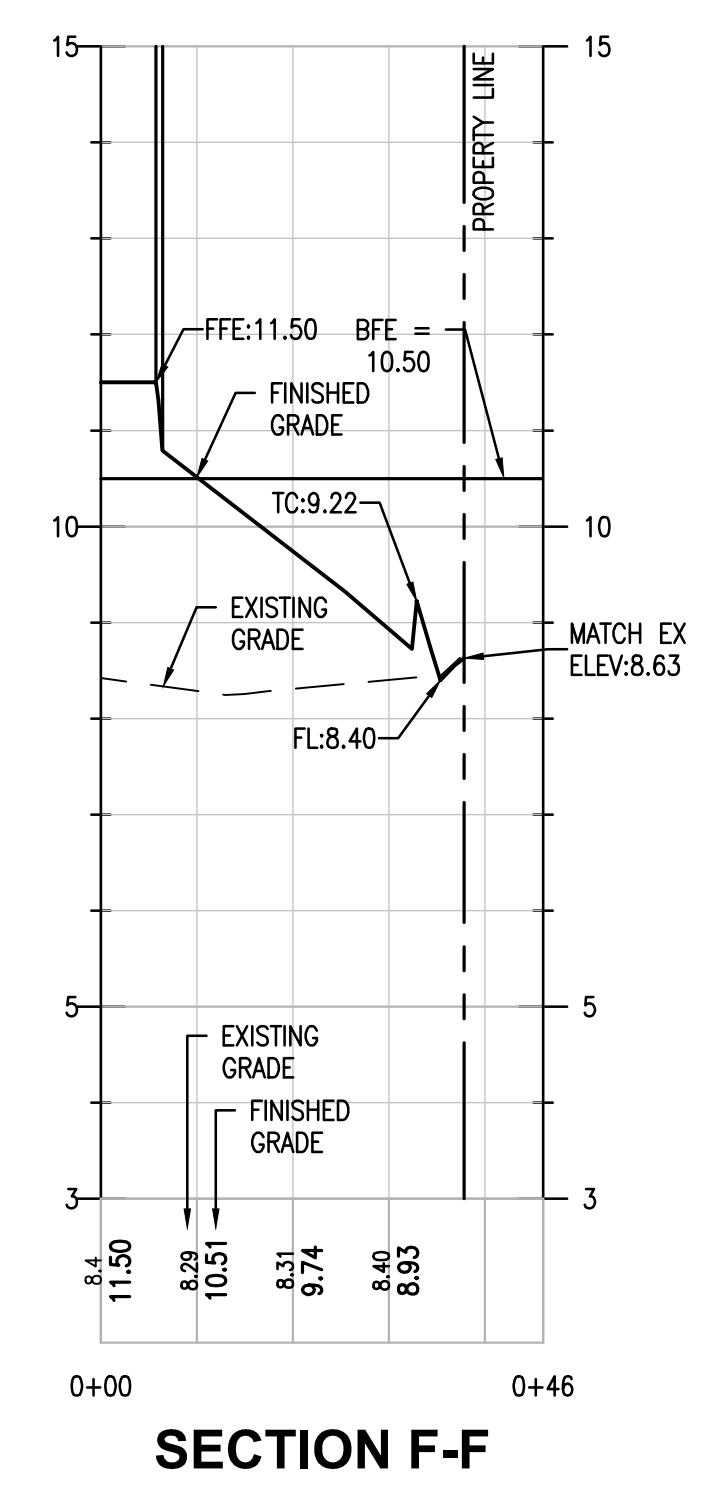
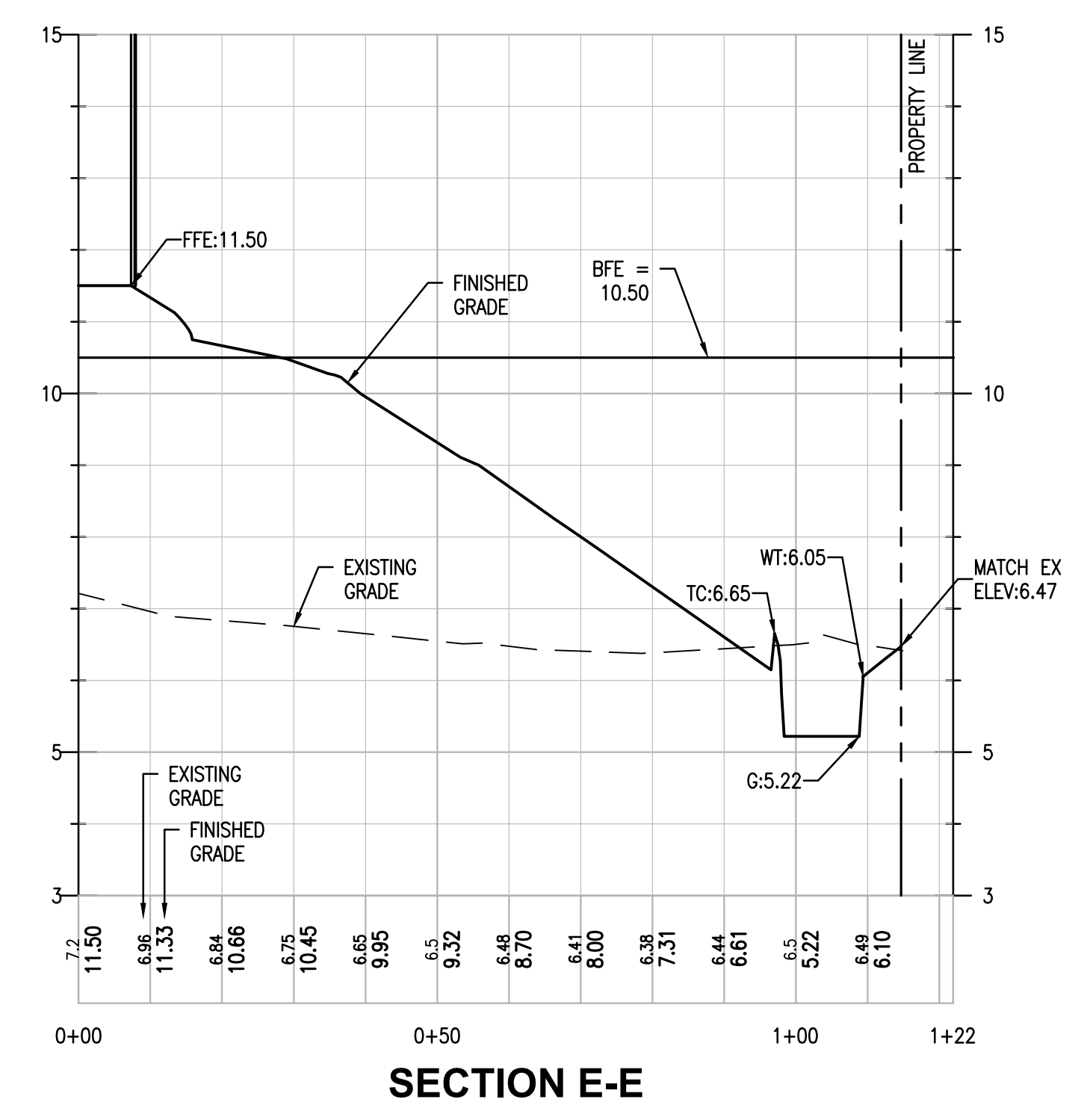
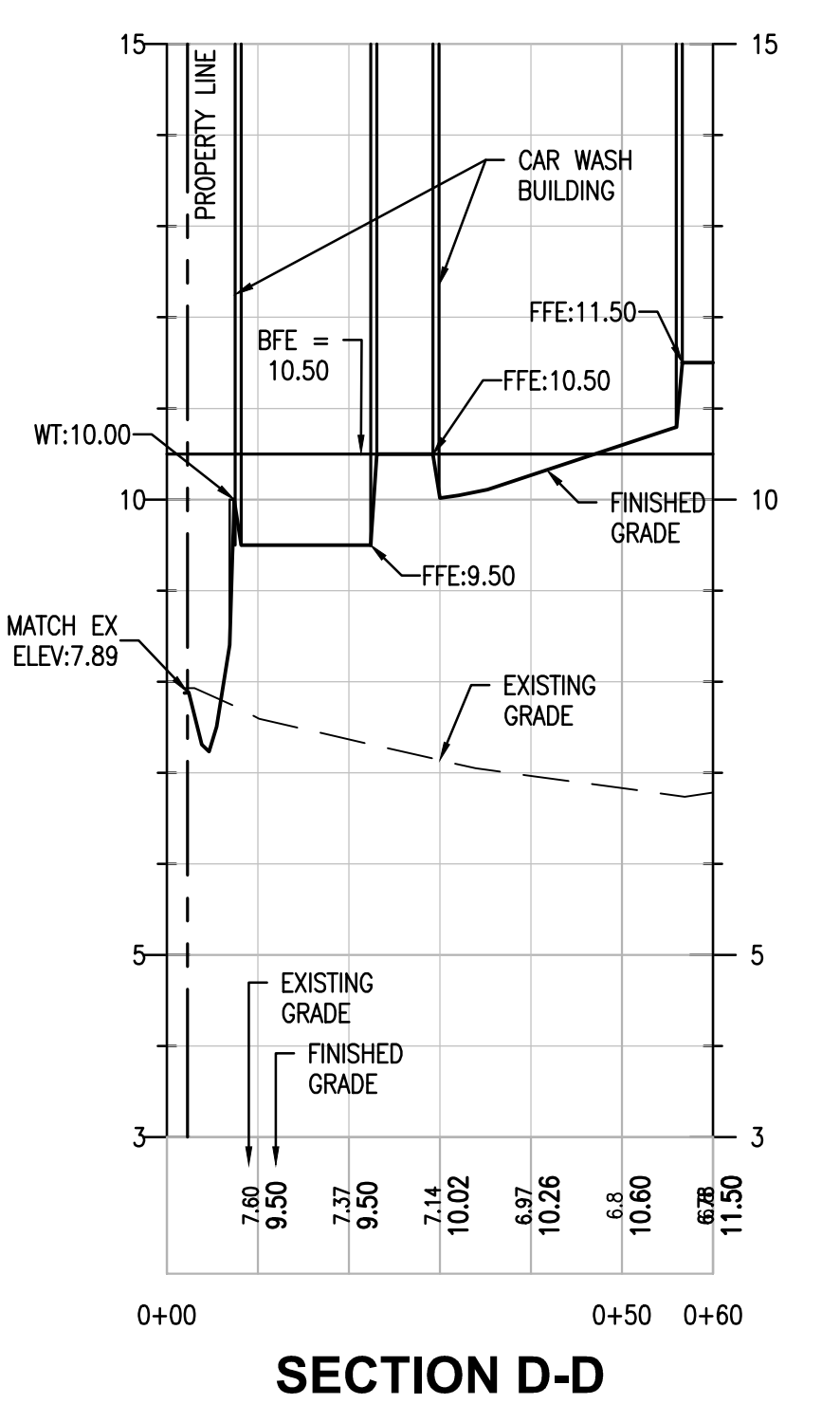
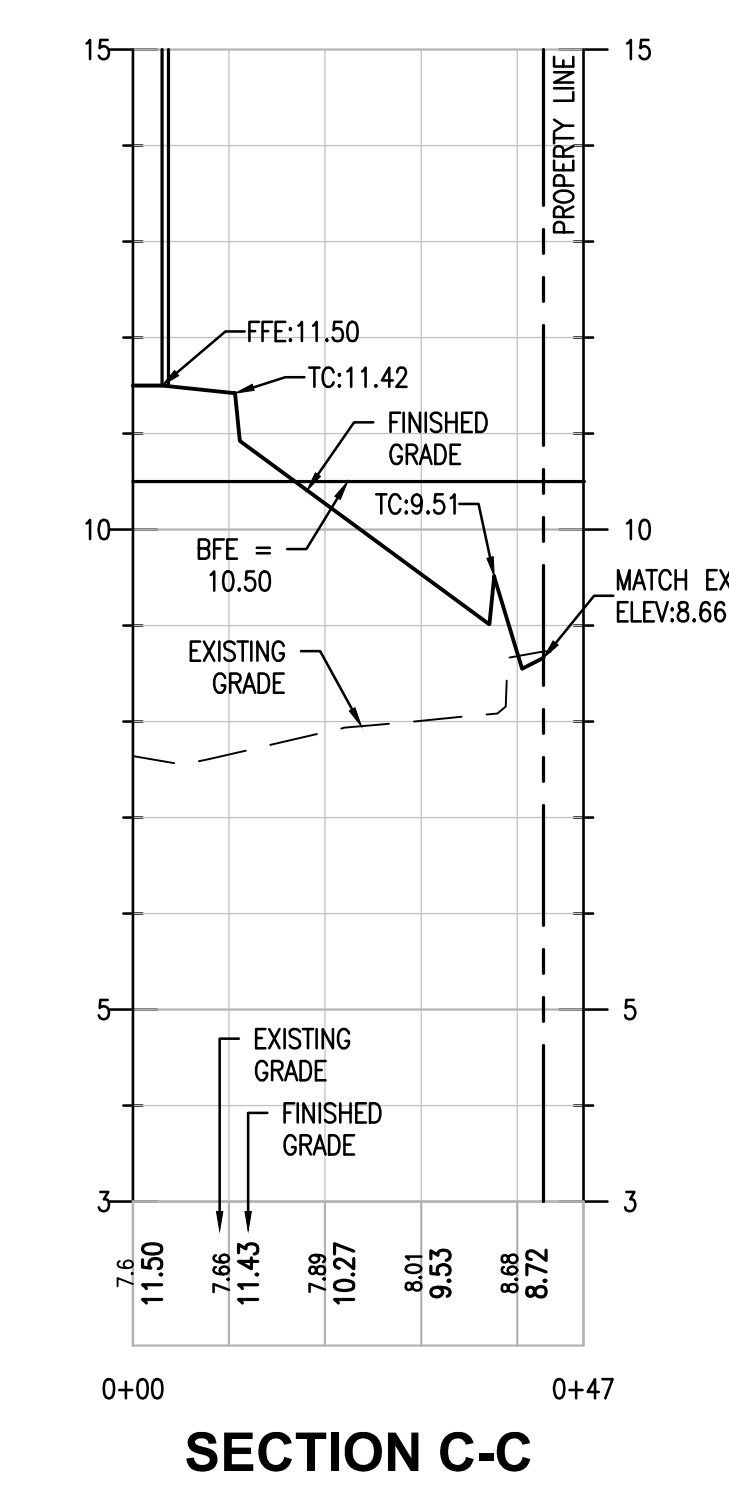
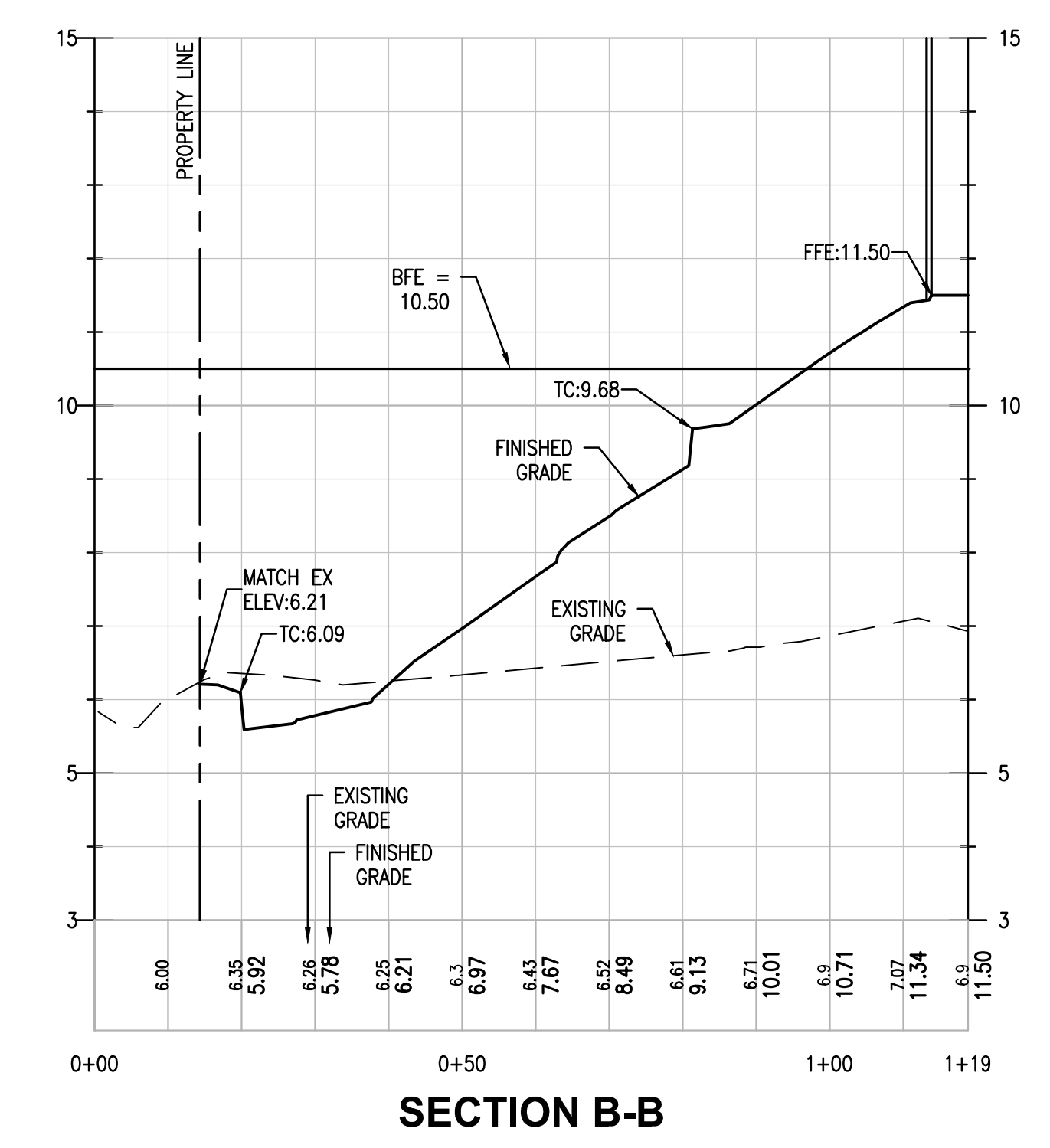
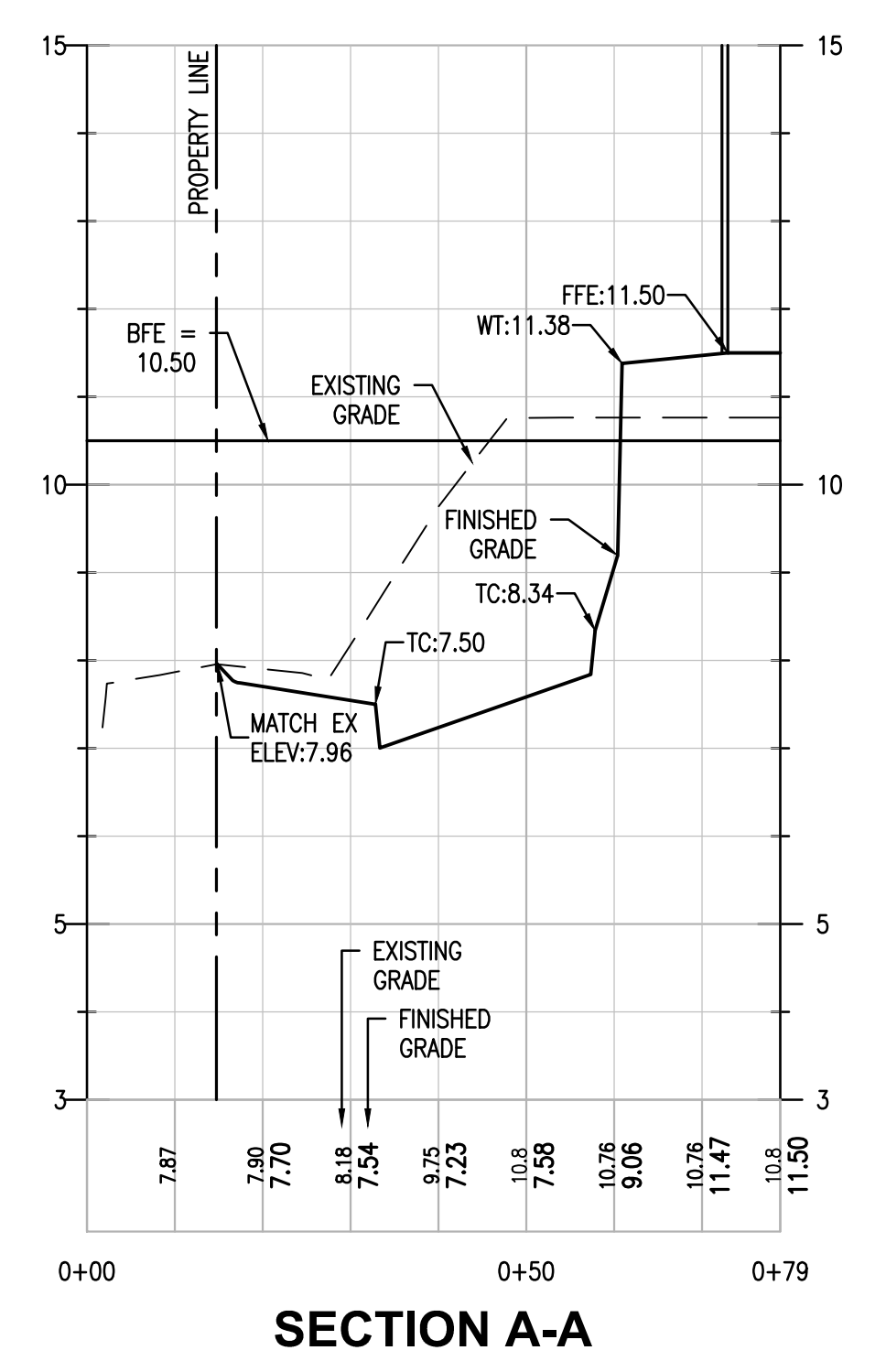
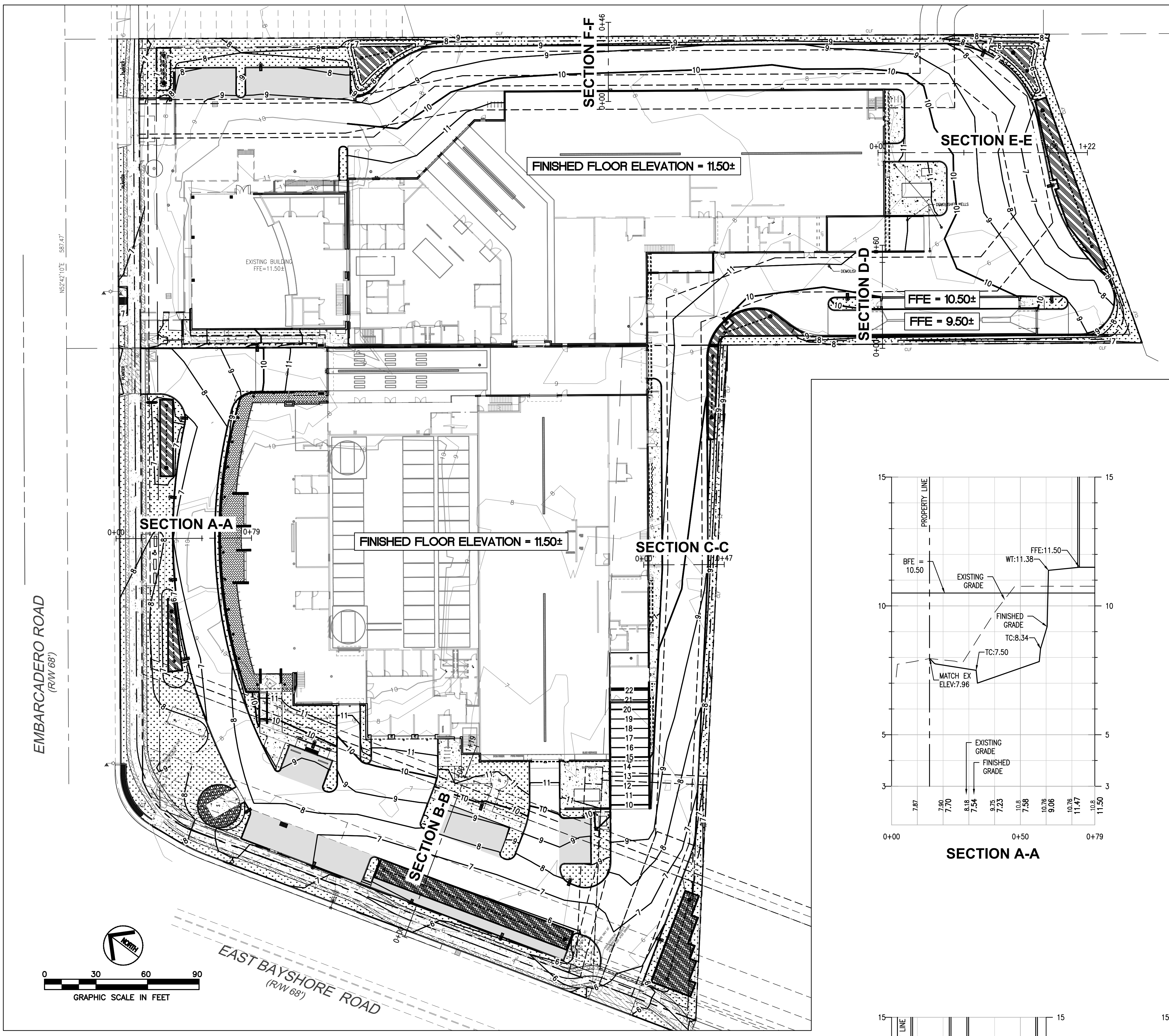
Rev	Date	Comments
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Z2	09/11/18	ARB Resubmittal No.2
Z3	10/10/18	ARB Resubmittal No.3
Z4	12/12/18	Planning Review

PROPOSED

- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- 1-FOOT CONTOUR
- 5-FOOT CONTOUR
- WATER LINE
- FIRE PROTECTION WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- OVERHEAD ELECTRIC
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- FENCE
- TREE
- SIGN
- FIRE HYDRANT
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- WATER BACK FLOW PREVENTER
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- TELEPHONE PEDESTAL/MANHOLE
- LIGHT POLE, UTILITY POLE
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EXISTING

- PROPERTY LINE
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SURVEY NOTES:

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2. BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT BM607 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD. ELEVATION = 8.91 FEET, NAVD88 DATUM.
3. BASIS OF BEARINGS: THE TIE BETWEEN FOUND MONUMENTS ON FABER PLACE, TAKEN AS SOUTH 37° 17' 44" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

ENGINEERS NOTE TO THE CONTRACTOR:

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CALL 811 OR 1-800-227-2600
CALL BEFORE YOU DIG
 WWW.USANORTH.ORG
 CALL TWO WORKING DAYS BEFORE YOU DIG

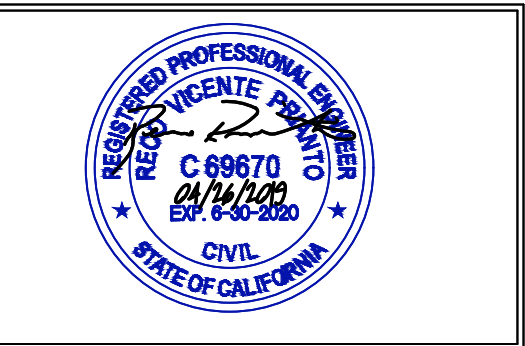
Client:
Holman Automotive
 1730 Embarcadero Rd
 Palo Alto, CA 94303

Project:
MERCEDES BENZ / AUDI of PALO ALTO
 1730 Embarcadero Rd
 Palo Alto, CA 94303

Project Number: 17019
 Drawn By: AJH/MRJ
 Checked By: RVP
 Approved By: RVP

Sheet Title:
SITE CROSS SECTIONS

Sheet Number:
C02.02



Rev	Date	Comments
1	05/07/18	ARB Submittal
Z1	07/26/18	ARB Resubmittal No. 1
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Z8	11/05/19	Planning Commission

PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
9	1-FOOT CONTOUR	9
10	5-FOOT CONTOUR	10
WTR	WATER LINE	WTR
FP	FIRE PROTECTION WATER LINE	FP
SS	SANITARY SEWER LINE	SS
SD	STORM DRAIN LINE	SD
OE	OVERHEAD ELECTRIC	OE
UE	UNDERGROUND ELECTRIC	UE
2"G	GAS LINE (INSTALLED BY CPAU FORCES)	G
X	FENCE	X
+	TREE	+
+	SIGN	+
+	FIRE HYDRANT	+
+	WATER METER/VALVE	+
+	WATER BACK FLOW PREVENTER	+
+	SEWER MANHOLE	+
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+	TELEPHONE PEDESTAL/MANHOLE	+
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+	LIGHT/TRAFFIC POLE	+

GRADING LEGEND	
X	EXISTING SPOT GRADE
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X	PROPOSED SPOT GRADE: TOP OF CURB EQUALS TOP OF CONCRETE
X	PROPOSED SPOT GRADE: TOP OF CURB EQUALS TOP OF PAVEMENT
X	PROPOSED SPOT GRADE: FINISHED FLOOR ELEVATION
X	PROPOSED SPOT GRADE: FLOWLINE
X	PROPOSED SPOT GRADE: FINISHED GROUND
X	PROPOSED SPOT GRADE: TOP OF PAVEMENT
X	PROPOSED SPOT GRADE: TOP OF WALL
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X	PROPOSED SPOT GRADE: BOTTOM OF WALL EQUALS CONCRETE
X	PROPOSED SPOT GRADE: BOTTOM OF WALL EQUALS FINISHED GROUND
X	PROPOSED SLOPE
---	DRAINAGE SWALE WITH 0.5% MINIMUM SLOPE

GRADING & DRAINAGE KEY NOTES	
1	CONCRETE WALLED FLOW-THROUGH PLANTER
2	LINED BIORETENTION BASIN
3	INSTALL PVC STORM SEWER. SIZE AND SLOPE TBD.
4	INSTALL STORM MANHOLE TYPE 1
5	INSTALL OVERFLOW RISER WITH YARD/BEEHIVE GRATE. INSTALL ABOVE LOCATION OF EXISTING STORM LINE, AND MAKE SADDLE INSTALLATION.
6	INSTALL 4" PERFORATED UNDERDRAIN. MINIMUM SLOPE OF 0.5%.
7	INSTALL STORM DRAIN TERMINAL CLEANOUT IN BIORETENTION BMP
8	INSTALL 2' WIDE CURB CUT/LEAVE-OUT FOR STORM WATER CONVEYANCE
9	RECONSTRUCT/RELOCATE 21" STORM LINE PER CITY DIRECTION.
10	CONCRETE FLOW-THROUGH PLANTER WITH TRAFFIC-RATED METAL GRATE. FOR STRUCTURAL DETAILS, SEE STRUCTURAL PLANS.
11	ROOM IS DERESSED, TO ELEVATION 10.50.
12	FLOW THROUGH PLANTER WITH TRAFFIC RATE GRATE SHALL HAVE A GRATE WITH RELATIVELY LARGE OPENINGS TO MAXIMIZE AIR FLOW, A MINIMUM OF 12" BETWEEN THE TOP OF THE SOIL AND THE GRATE, AND LOW GROWING, SHADE TOLERANT PLANTS SUCH AS CAREX TUMULICOLA/DIVULSA OR CAREX PRAEGRACILIS.

EARTHWORK CALCULATIONS	
SITE CUT	9,743 CUBIC YARDS
SITE FILL	18,540 CUBIC YARDS
NET	8,797 CUBIC YARDS (FILL)

NOTE: QUANTITIES SHOWN ARE BASED UPON PAVEMENT RECOMMENDATIONS, UNSUITABLE SOIL ESTIMATES, AND OTHER INFORMATION CONTAINED IN A GEOTECHNICAL INVESTIGATION REPORT PROVIDED BY ROMIG ENGINEERS, INC., DATED AUGUST, 2015, AND ARE PROVIDED AS A COURTESY ONLY. BIDDER IS RESPONSIBLE TO VERIFY. NO SHRINK/SWELL FACTORS HAVE BEEN TAKEN INTO ACCOUNT.

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Project:

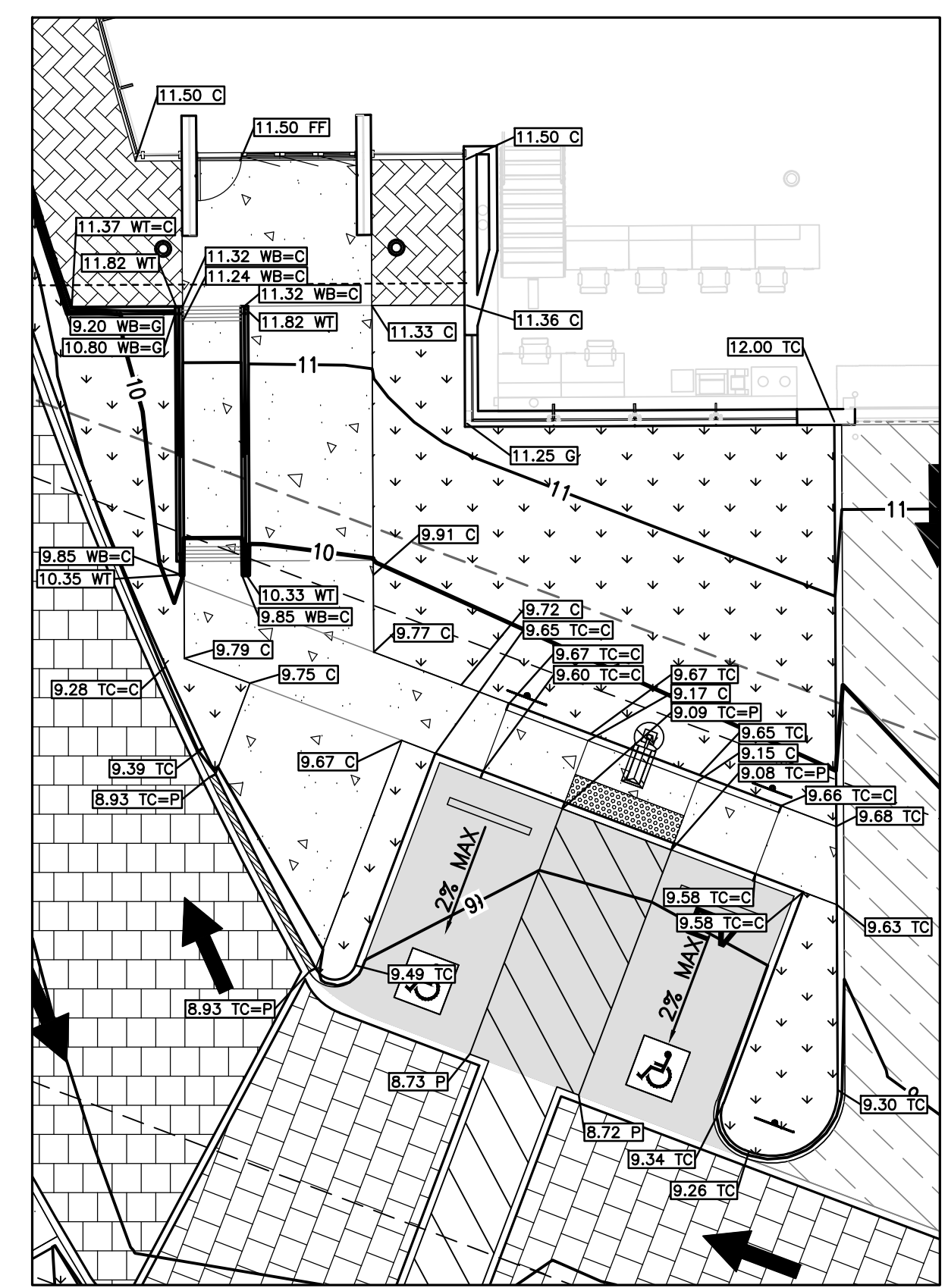
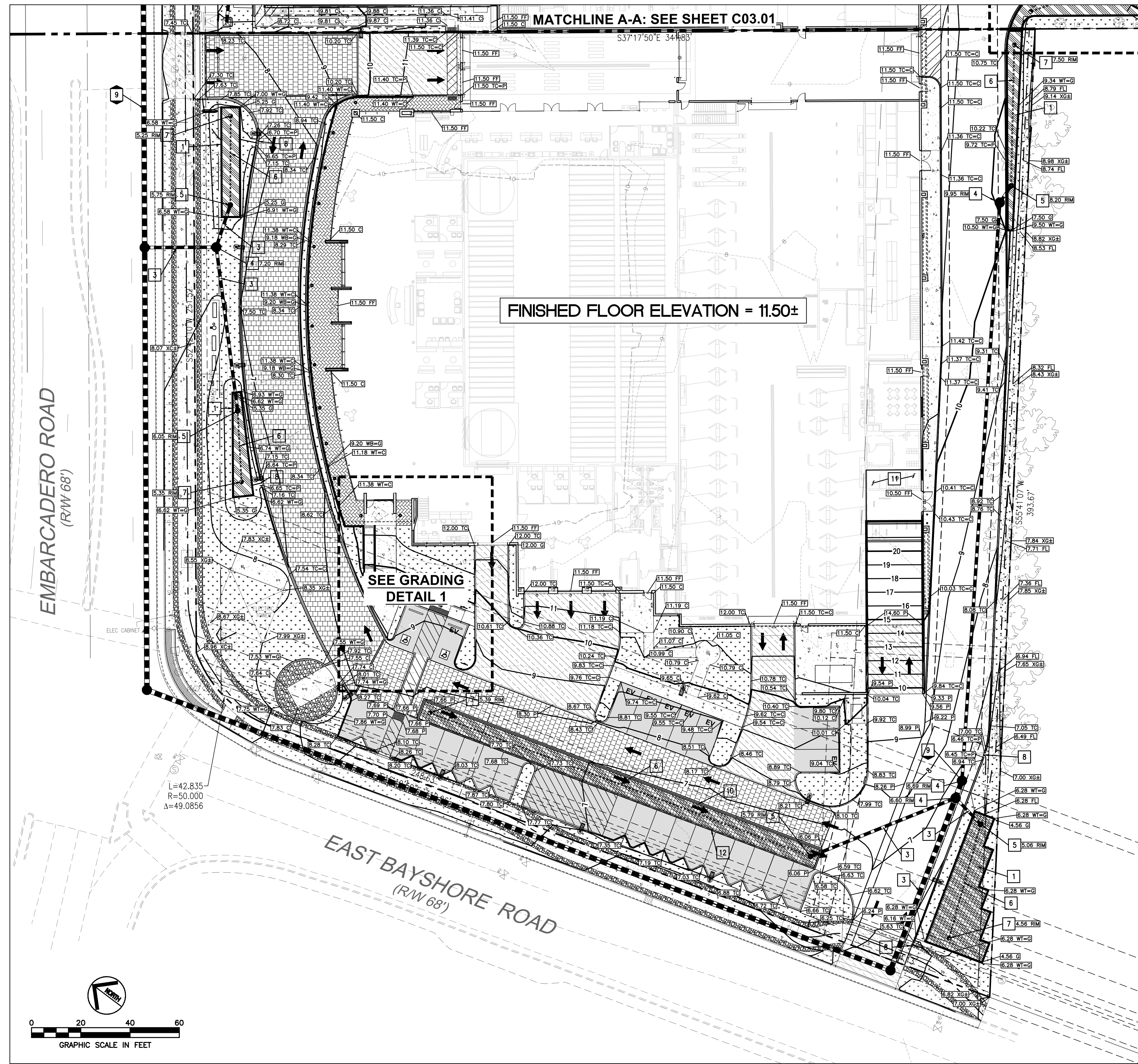
**MERCEDES
BENZ / AUDI
of PALO ALTO**

1730 Embarcadero Rd
Palo Alto, CA 94303

Project Number: 17019
Drawn By: AJH/MRJ
Checked By: RVP
Approved By: RVP

Sheet Title:
**GRADING AND
DRAINAGE PLAN**

Sheet Number:
C03.00



GRADING DETAIL 1
SCALE: 1" = 10'

- GENERAL NOTES:**
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 - ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
 - ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND CALTRANS STANDARDS, OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
 - THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

- WORK IN THE RIGHT OF WAY NOTE:**
- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET OPENING PERMIT PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
 - CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATED TO KEEP MATERIALS AND EQUIPMENT ONSITE OR WITHIN PRIVATE PROPERTY.

- FLOOD ZONE NOTES:**
- THE PROPOSED PROJECT IS A SUBSTANTIAL IMPROVEMENT AND SHALL COMPLY WITH PALO ALTO MUNICIPAL CODE CHAPTER 16.52 FLOOD HAZARD REGULATIONS AND FEMA'S REQUIREMENTS.
 - ASSESSOR'S PARCEL 008-03-065 IS LOCATED WITHIN FEMA'S SPECIAL FLOOD HAZARD AREA ZONE AE WHERE THE BASE FLOOD ELEVATION (BFE) WAS DETERMINED TO BE 10.5 AS SHOWN ON THE FIRM PANEL NUMBER 06065C0030H DATED MAY 18, 2009.

- SURVEY NOTES:**
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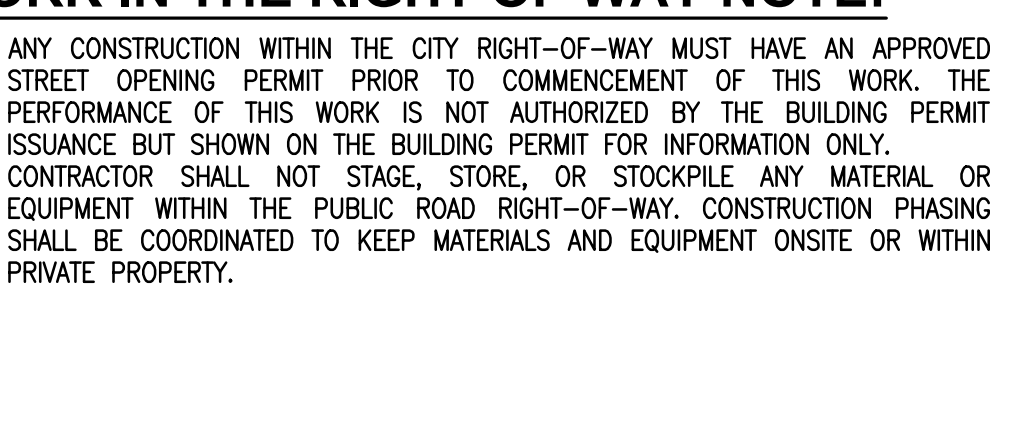
- UTILITY LOCATION NOTE:**
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- GRADING NOTES:**
- THE CONTRACTOR SHALL VERIFY DIMENSIONS AT PROJECT SITE PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - ALL DIMENSIONS ARE TO FACE OF WALL, FACE OF CURB, AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

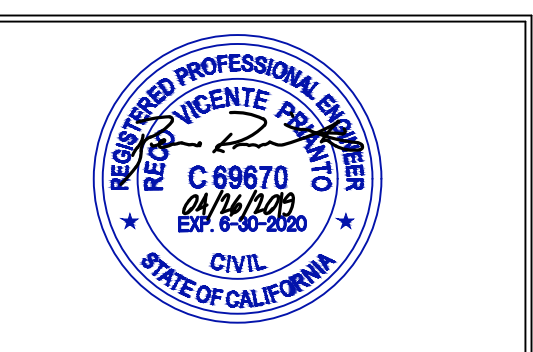
ENVIRONMENTAL NOTE:
ROMIG ENGINEERS PREVIOUSLY PROVIDED PHASE 1 AND PHASE 2 ENVIRONMENTAL SITE ASSESSMENTS (ESAs) FOR THE SUBJECT PROPERTY. IT IS ASSUMED THAT THE RECOMMENDATIONS INCLUDED IN THAT REPORT WILL BE FOLLOWED.

STORMWATER MANAGEMENT NOTE:
THE STORMWATER DESIGN SHOWN IS IN COMPLIANCE WITH THE SANTA CLARA COUNTY CALIFORNIA DRAINAGE MANUAL (2007). ADDITIONAL HYDROLOGIC MODELING/CALCULATIONS AND HYDRAULIC ANALYSIS HAVE BEEN PERFORMED, AND CAN BE PROVIDED UPON REQUEST. THE 10-YEAR HYDRAULIC GRADE LINE IS BELOW THE CROWN OF ALL PROPOSED STORM SEWER PIPES, AND THE 100-YEAR HYDRAULIC GRADE LINE IS MORE THAN ONE FOOT (1') BELOW THE FINISHED GRADE SURFACES IN ALL INSTANCES.

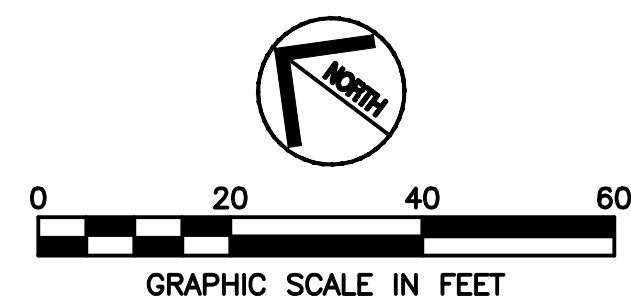
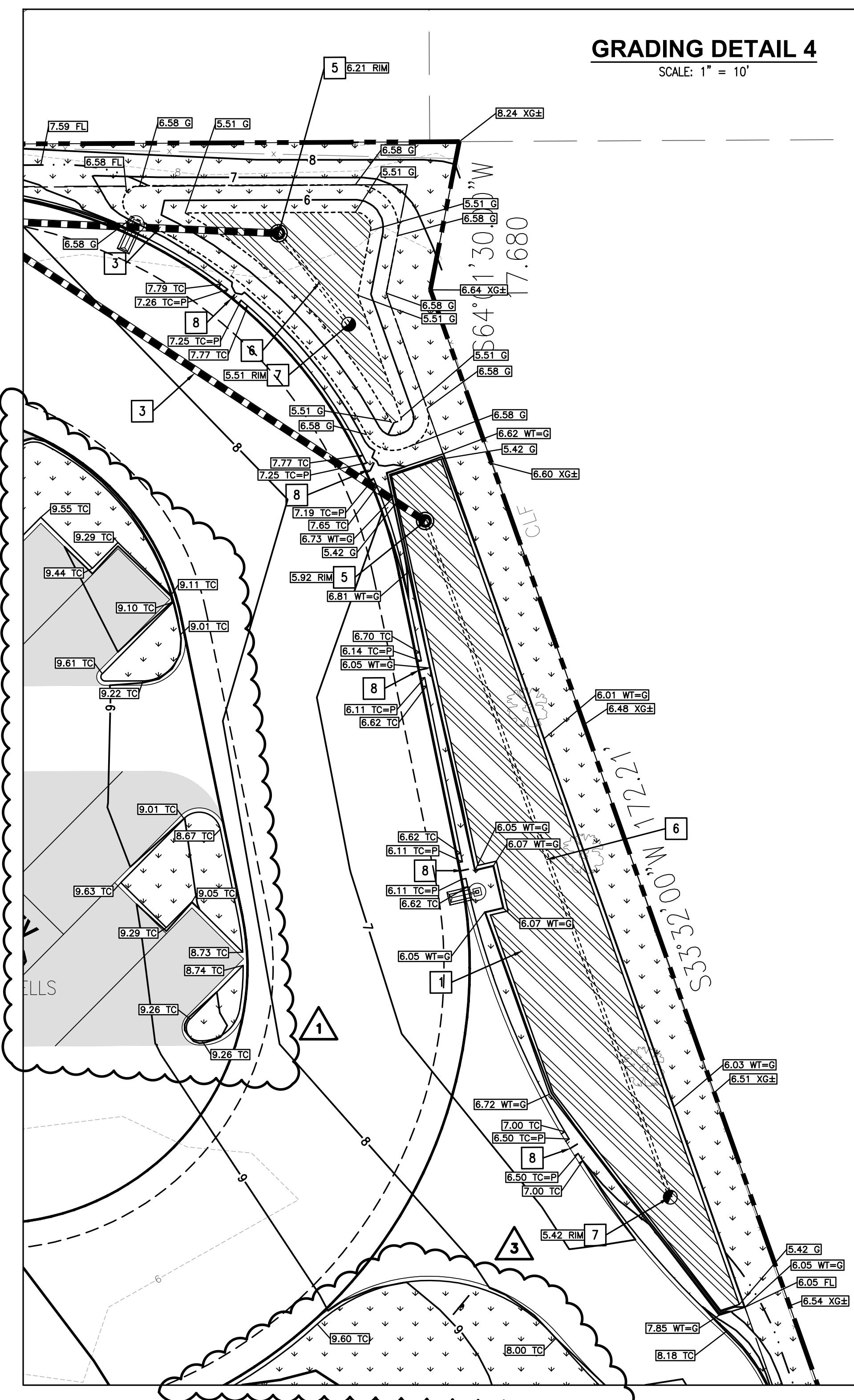
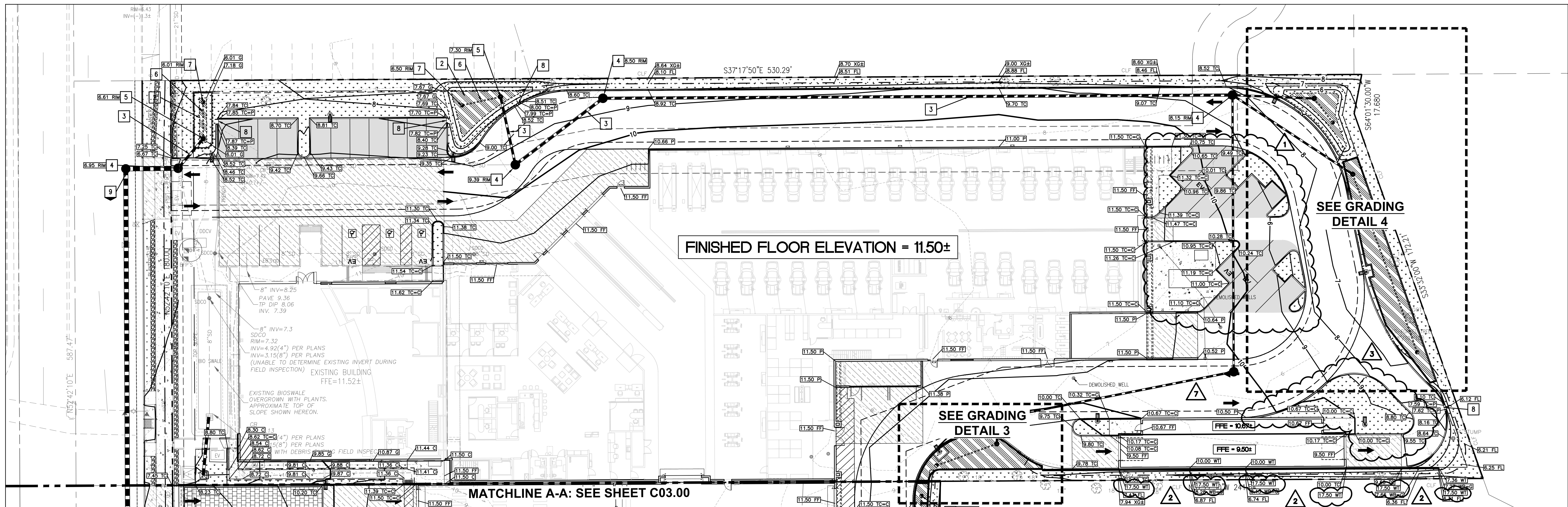
WATER QUALITY NOTE:
THESE DESIGN PLANS COMPLY WITH THE JUNE, 2016 SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM C.3 STORMWATER HANDBOOK. ALL ON-SITE DRAINAGE THAT PASSES OVER PROPOSED IMPERVIOUS AREAS (ROOF AND PAVEMENT) ARE DIRECTED TO ON-SITE FLOW-THROUGH PLANTERS.



CALL 811 OR 1-800-227-2600 BEFORE YOU DIG. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

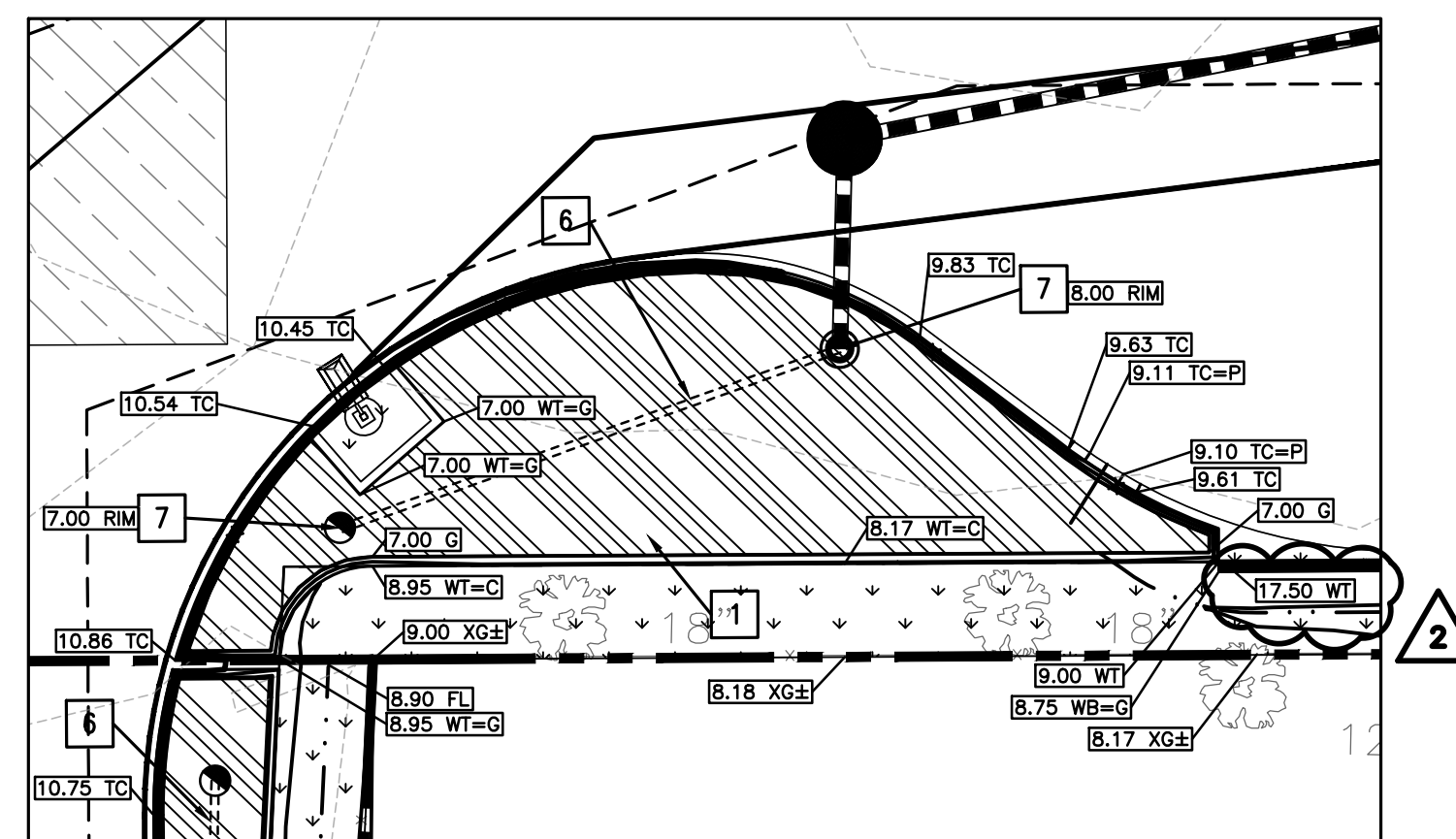


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GRADING & DRAINAGE KEY NOTES

- 1 CONCRETE WALLED FLOW-THROUGH PLANTER
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- 6 INSTALL 4" PERFORATED UNDERDRAIN, MINIMUM SLOPE OF 0.5%.
- 7 INSTALL STORM DRAIN TERMINAL CLEANOUT IN BIORETENTION BMP
- 8 INSTALL 2" WIDE CURB CUT/LEAVE-OUT FOR STORM WATER CONVEYANCE
- 9 RECONSTRUCT/RELOCATE 21" STORM LINE PER CITY DIRECTION.
- 10 CONCRETE FLOW-THROUGH PLANTER WITH TRAFFIC-RATED METAL GRATE. FOR STRUCTURAL DETAILS, SEE STRUCTURAL PLANS.
- 11 ROOM IS DEPRESSED, TO ELEVATION 10.50.



SOILS REPORT NOTE:

REFER TO THE SOIL STUDY BY ROMIG ENGINEERS, INC. TITLED, "GEOTECHNICAL INVESTIGATION FOR MERCEDES-BENZ DEALERSHIP 1700 EMBARCADERO ROAD, PALO ALTO, CALIFORNIA 94303", DATED AUGUST, 2015, FOR ALL PROJECT SPECIFICATIONS, REQUIREMENTS, RECOMMENDATIONS AND PROCEDURES IN REGARDS TO PAVEMENT SECTIONS, PAD PREPARATION, SITE CLEARING REQUIREMENTS, OVEREXCAVATION, COMPACTION, SOIL REMEDIATION, ETC.

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GRADING LEGEND

- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE: TOP OF CONCRETE
- PROPOSED SPOT GRADE: TOP OF CURB
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- PROPOSED SPOT GRADE: FLOWLINE
- PROPOSED SPOT GRADE: FINISHED GROUND
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 - LIGHT POLE, UTILITY POLE
 - LIGHT/TRAFFIC POLE

GRADING NOTES:

1. THE CONTRACTOR SHALL VERIFY DIMENSIONS AT PROJECT SITE PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
2. ALL DIMENSIONS ARE TO FACE OF WALL, FACE OF CURB, AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

ENVIRONMENTAL NOTE:

ROMIG ENGINEERS PREVIOUSLY PROVIDED PHASE 1 AND PHASE 2 ENVIRONMENTAL SITE ASSESSMENTS (ESAs) FOR THE SUBJECT PROPERTY. IT IS ASSUMED THAT THE RECOMMENDATIONS INCLUDED IN THAT REPORT WILL BE FOLLOWED.

STORMWATER MANAGEMENT NOTE:

THE STORMWATER DESIGN SHOWN IS IN COMPLIANCE WITH THE SANTA CLARA COUNTY CALIFORNIA DRAINAGE MANUAL (2007). ADDITIONAL HYDROLOGIC MODELING/CALCULATIONS AND HYDRAULIC ANALYSIS HAVE BEEN PERFORMED, AND CAN BE PROVIDED UPON REQUEST. THE 10-YEAR HYDRAULIC GRADE LINE IS BELOW THE CROWN OF ALL PROPOSED STORM SEWER PIPES, AND THE 100-YEAR HYDRAULIC GRADE LINE IS MORE THAN ONE FOOT (1') BELOW THE FINISHED GRADE SURFACES IN ALL INSTANCES.

WATER QUALITY NOTE:

THESE DESIGN PLANS COMPLY WITH THE JUNE, 2016 SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM C.3 STORMWATER HANDBOOK. ALL ON-SITE DRAINAGE THAT PASSES OVER PROPOSED IMPERVIOUS AREAS (ROOF AND PAVEMENT) ARE DIRECTED TO ON-SITE FLOW-THROUGH PLANTERS.

Client:
Holman Automotive

1730 Embarcadero Rd
Palo Alto, CA 94303

Project:
**MERCEDES
BENZ / AUDI
of PALO ALTO**

1730 Embarcadero Rd
Palo Alto, CA 94303

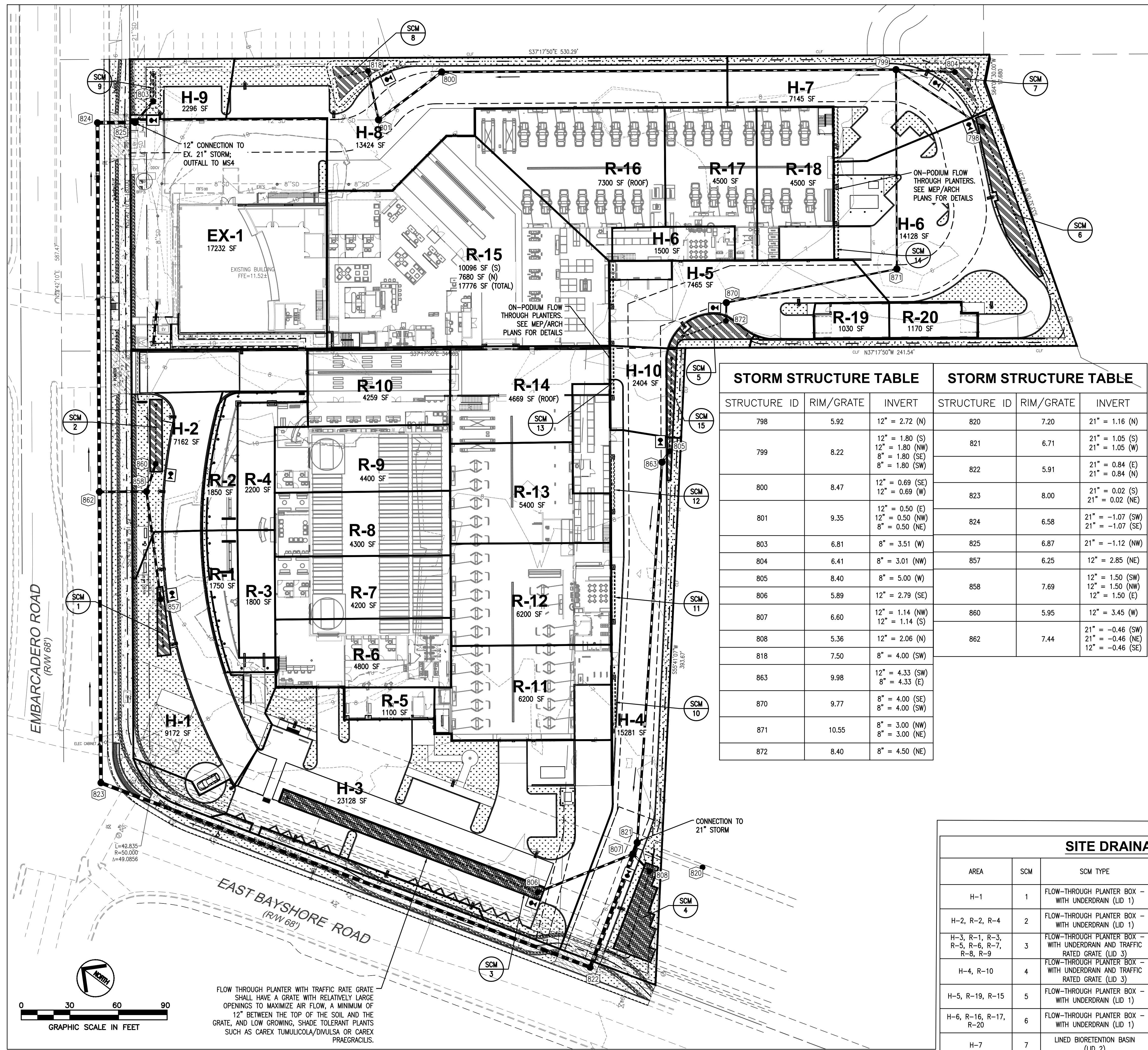
Project Number: 17019
Drawn By: AJH/MRJ
Checked By: RVP
Approved By: RVP

Sheet Title:
**GRADING AND
DRAINAGE PLAN**

Sheet Number:
C03.01



ENGINEERS NOTE TO THE CONTRACTOR:
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.



STORM STRUCTURE TABLE			STORM STRUCTURE TABLE		
STRUCTURE ID	RIM/GRATE	INVERT	STRUCTURE ID	RIM/GRATE	INVERT
798	5.92	12" = 2.72 (N)	820	7.20	21" = 1.16 (N)
799	8.22	12" = 1.05 (S) 12" = 1.80 (NW) 8" = 1.80 (SE) 8" = 1.80 (SW)	821	6.71	21" = 1.05 (W)
800	8.47	12" = 0.69 (SE) 12" = 0.69 (W)	822	5.91	21" = 0.84 (E) 21" = 0.84 (N)
801	9.35	12" = 0.50 (E) 12" = 0.50 (NW) 8" = 0.50 (NE)	823	8.00	21" = 0.02 (S) 21" = 0.02 (NE)
803	6.81	8" = 3.51 (W)	824	6.58	21" = -1.07 (SW) 21" = -1.07 (SE)
804	6.41	8" = 3.01 (NW)	825	6.87	21" = -1.12 (NW)
805	8.40	8" = 5.00 (W)	857	6.25	12" = 2.85 (NE)
806	5.89	12" = 2.79 (SE)	858	7.69	12" = 1.50 (SW) 12" = 1.50 (NW) 12" = 1.50 (E)
807	6.60	12" = 1.14 (NW) 12" = 1.14 (S)	860	5.95	12" = 3.45 (W)
808	5.36	12" = 2.06 (S)	862	7.44	21" = -0.46 (SW) 21" = -0.46 (NE) 12" = -0.46 (SE)
818	7.50	8" = 4.00 (SW)			
863	9.98	12" = 4.33 (SW) 8" = 4.33 (E)			
870	9.77	8" = 4.00 (SE) 8" = 4.00 (SW)			
871	10.55	8" = 3.00 (NW) 8" = 3.00 (NE)			
872	8.40	8" = 4.50 (NE)			

INSPECTION AND MAINTENANCE:

RESPONSIBLE PARTY FOR BMP MAINTENANCE: TBD

ON-SITE FLOW-THROUGH PLANTER MAINTENANCE PLAN:

ROUTINE MAINTENANCE (MONTHLY INSPECTIONS, OR AS NEEDED AFTER STORM EVENTS):

- INSPECT THE PLANTER SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH; CLEAR AND REMOVE TRASH, FALLEN LEAVES, AND DEBRIS.
- INSPECT PLANTER BOX AFTER STORMS TO ENSURE STRUCTURAL INTEGRITY OF THE BOX AND THAT THE PLANTER IS NOT CLOGGING, AND IS DRAINING WITHIN 3-4 HOURS AFTER STORM EVENTS. IF PONDING WATER DOES NOT DRAIN, THE SURFACE SOILS SHOULD BE TILLED OR REPLACED AND REPLANTED AS NECESSARY. IF MOSQUITO LARVAE ARE OBSERVED, CONTACT THE COUNTY VECTOR CONTROL DISTRICT AT (510) 567-6800.
- INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH AND REMOVE ANY ACCUMULATION OF SEDIMENT.
- CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY.
- BI-ANNUAL INSPECTION (AT LEAST TWICE A YEAR):
- PRUNE AND WEED THE PLANTER AREA.
- REMOVE AND REPLACE ANY DEAD OR DYING PLANTS.
- TREAT DISEASED PLANTS, AS NEEDED, USING PREVENTATIVE AND LOW-TOXIC MEASURES TO THE EXTENT POSSIBLE.
- AVOID THE USE OF PESTICIDES AND QUICK-RELEASE SYNTHETIC FERTILIZERS AND FOLLOW THE PRINCIPLES OF INTEGRATED PEST MANAGEMENT (IPM). CHECK WITH THE LOCAL JURISDICTION FOR ANY LOCAL POLICIES REGARDING THE USE OF PESTICIDES AND FERTILIZERS.
- MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).

ANNUAL INSPECTION (JUST PRIOR TO THE WET SEASON):

- APPLY 1" TO 2" OF COMPOSED MULCH TO BE APPLIED ONCE A YEAR AND WHEN EROSION IS EVIDENT; SPOT MULCHING MAY BE SUFFICIENT FOR RANDOM VOID AREAS.

ON-SITE LINED BIORETENTION BASIN MAINTENANCE PLAN:

ROUTINE MAINTENANCE (MONTHLY INSPECTIONS, OR AS NEEDED AFTER STORM EVENTS):

- INSPECT THE BASIN SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH; CLEAR AND REMOVE TRASH, FALLEN LEAVES, AND DEBRIS.
- INSPECT BASIN AFTER STORMS TO ENSURE STRUCTURAL INTEGRITY AND THAT THE BASIN IS DRAINING WITHIN 3-4 HOURS AFTER STORM EVENTS. IF PONDING WATER DOES NOT DRAIN, THE SURFACE SOILS SHOULD BE TILLED OR REPLACED AND REPLANTED AS NECESSARY. IF MOSQUITO LARVAE ARE OBSERVED, CONTACT THE COUNTY VECTOR CONTROL DISTRICT AT (510) 567-6800.
- INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH AND REMOVE ANY ACCUMULATION OF SEDIMENT.
- CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY.
- BI-ANNUAL INSPECTION (AT LEAST TWICE A YEAR):
- PRUNE AND WEED THE BASIN AREA.
- REMOVE AND REPLACE ANY DEAD OR DYING PLANTS.
- TREAT DISEASED PLANTS, AS NEEDED, USING PREVENTATIVE AND LOW-TOXIC MEASURES TO THE EXTENT POSSIBLE.
- AVOID THE USE OF PESTICIDES AND QUICK-RELEASE SYNTHETIC FERTILIZERS AND FOLLOW THE PRINCIPLES OF INTEGRATED PEST MANAGEMENT (IPM). CHECK WITH THE LOCAL JURISDICTION FOR ANY LOCAL POLICIES REGARDING THE USE OF PESTICIDES AND FERTILIZERS.
- MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).

ANNUAL INSPECTION (JUST PRIOR TO THE WET SEASON):

- APPLY 1" TO 2" OF COMPOSED MULCH TO BE APPLIED ONCE A YEAR AND WHEN EROSION IS EVIDENT; SPOT MULCHING MAY BE SUFFICIENT FOR RANDOM VOID AREAS.

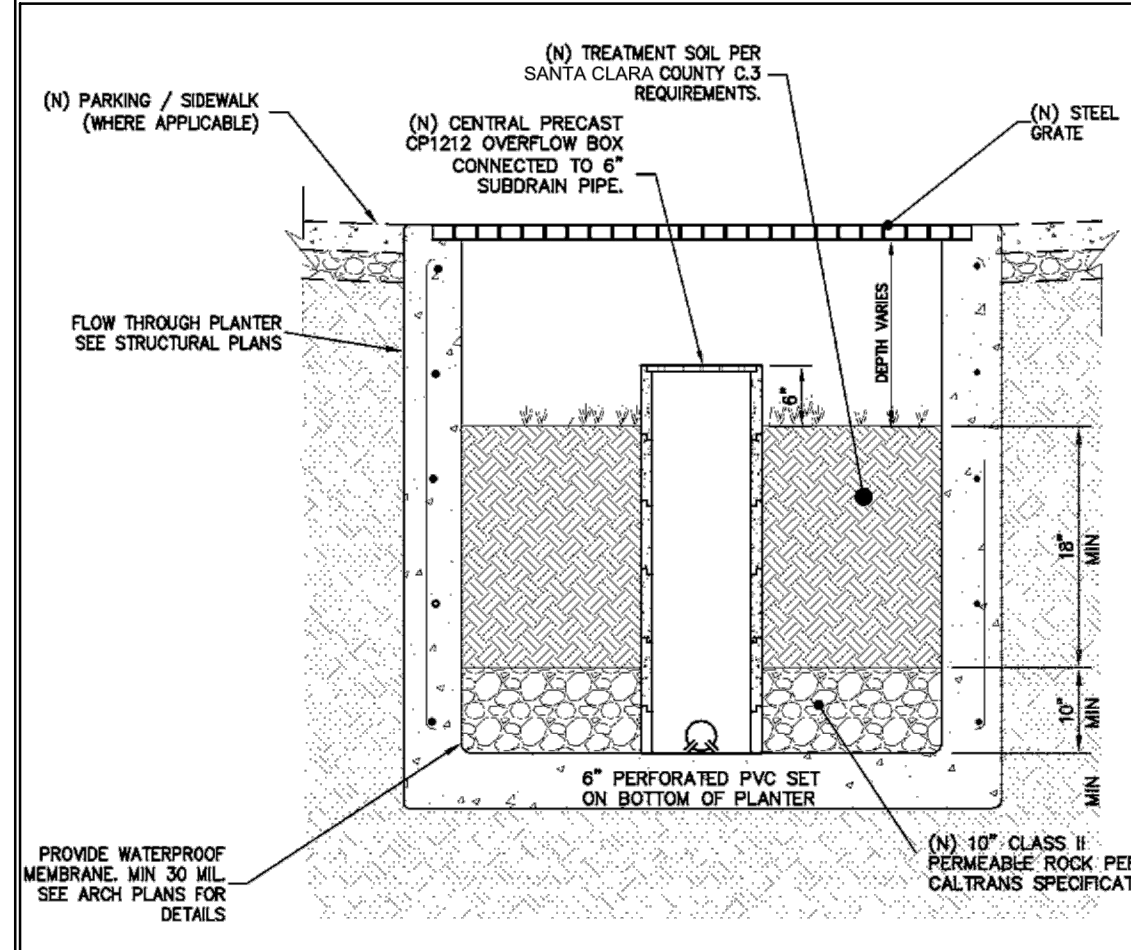
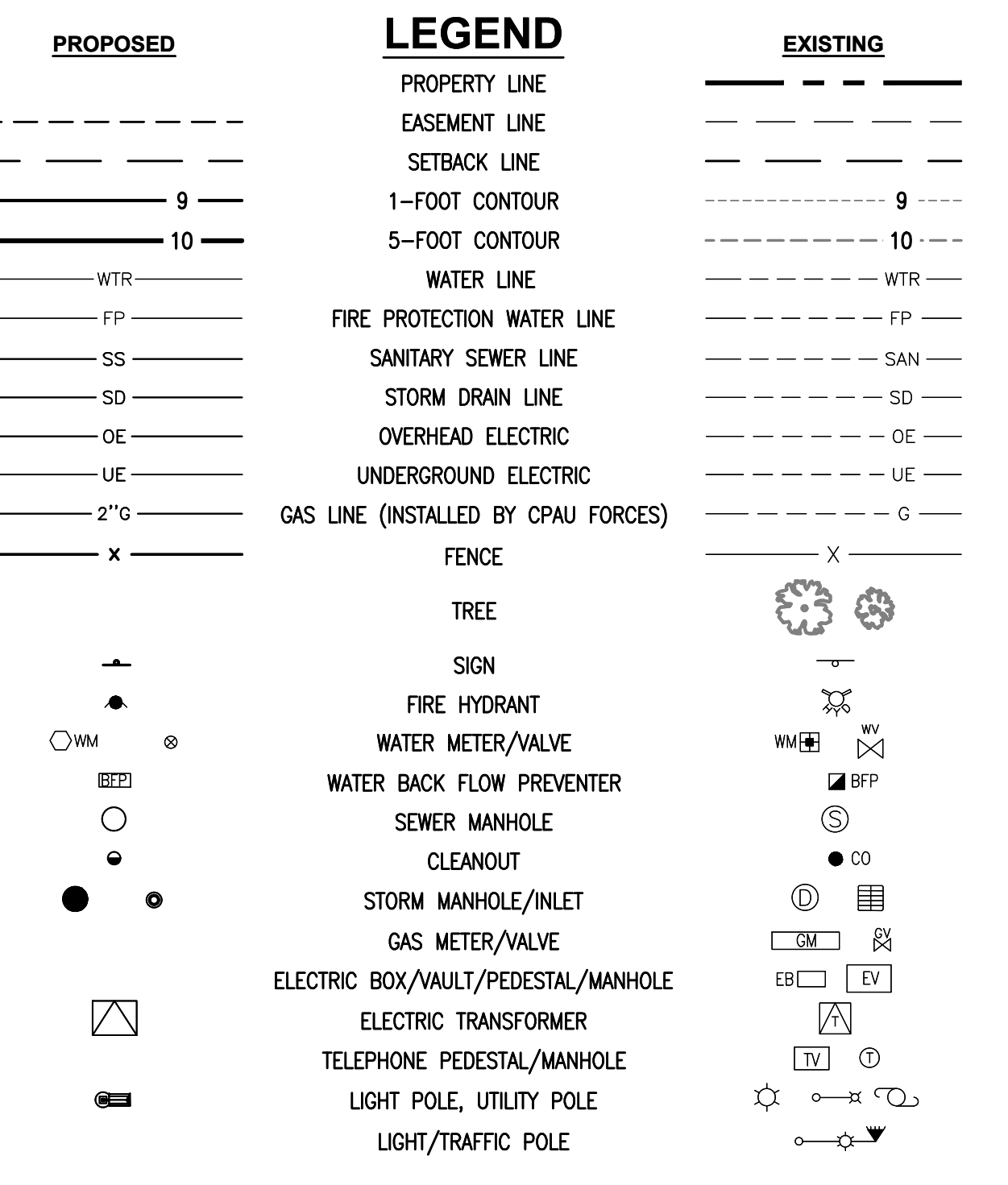


FIGURE 6-3: FLOW-THROUGH PLANTER WITH TRAFFIC-RATED GRATE

SITE DRAINAGE AREAS AND SCM'S

AREA	SCM	SCM TYPE	TOTAL DRAINAGE AREA [SF]	IMPERVIOUS AREA [SF]	SCM AREA REQUIRED [SF]	SCM AREA PROVIDED [SF]
H-1	1	FLOW-THROUGH PLANTER BOX WITH UNDERDRAIN (LID 1)	9172	4612 4560	218	221
H-2, R-2, R-4	2	FLOW-THROUGH PLANTER BOX WITH UNDERDRAIN (LID 1)	11212	9434 1778	288	308
H-3, R-1, R-3, R-5, R-6, R-7, R-8, R-9	3	FLOW-THROUGH PLANTER BOX WITH UNDERDRAIN AND TRAFFIC RATED GRATE (LID 3)	45478	41220 4258	1249	1282
H-4, R-10	4	FLOW-THROUGH PLANTER BOX WITH UNDERDRAIN AND TRAFFIC RATED GRATE (LID 3)	19540	15939 3601	784	848
H-5, R-19, R-15	5	FLOW-THROUGH PLANTER BOX WITH UNDERDRAIN (LID 1)	26271	25466 805	523	523
H-6, R-16, R-17, R-20	6	FLOW-THROUGH PLANTER BOX WITH UNDERDRAIN (LID 1)	28598	24891 3707	758	965
H-7	7	LINED BIORETENTION BASIN (LID 2)	7145	5421 1724	168	174
H-8	8	LINED BIORETENTION BASIN (LID 2)	13424	7339 6085	302	316
H-9	9	LINED BIORETENTION BASIN (LID 2)	2296	799 1497	57	63
R-11	10	MOUNTED FLOW-THROUGH PLANTER BOX (LID 4)	6200	6200 0	186	38 *
R-12	11	MOUNTED FLOW-THROUGH PLANTER BOX (LID 4)	6200	6200 0	186	39 *
R-13	12	MOUNTED FLOW-THROUGH PLANTER BOX (LID 4)	5400	5400 0	162	39 *
R-14	13	MOUNTED FLOW-THROUGH PLANTER BOX (LID 4)	4669	4669 0	140	39 *
R-18	14	MOUNTED FLOW-THROUGH PLANTER BOX (LID 4)	4500	4500 0	135	153
H-10	15	FLOW-THROUGH PLANTER BOX WITH UNDERDRAIN (LID 1)	2404	1862 542 163952	57	291
TOTAL			192509	28557	5128	5271

LID-4: WALL MOUNTED PLANTER BOX (SEE ARCH PLANS)



STORMWATER CONTROL LEGEND

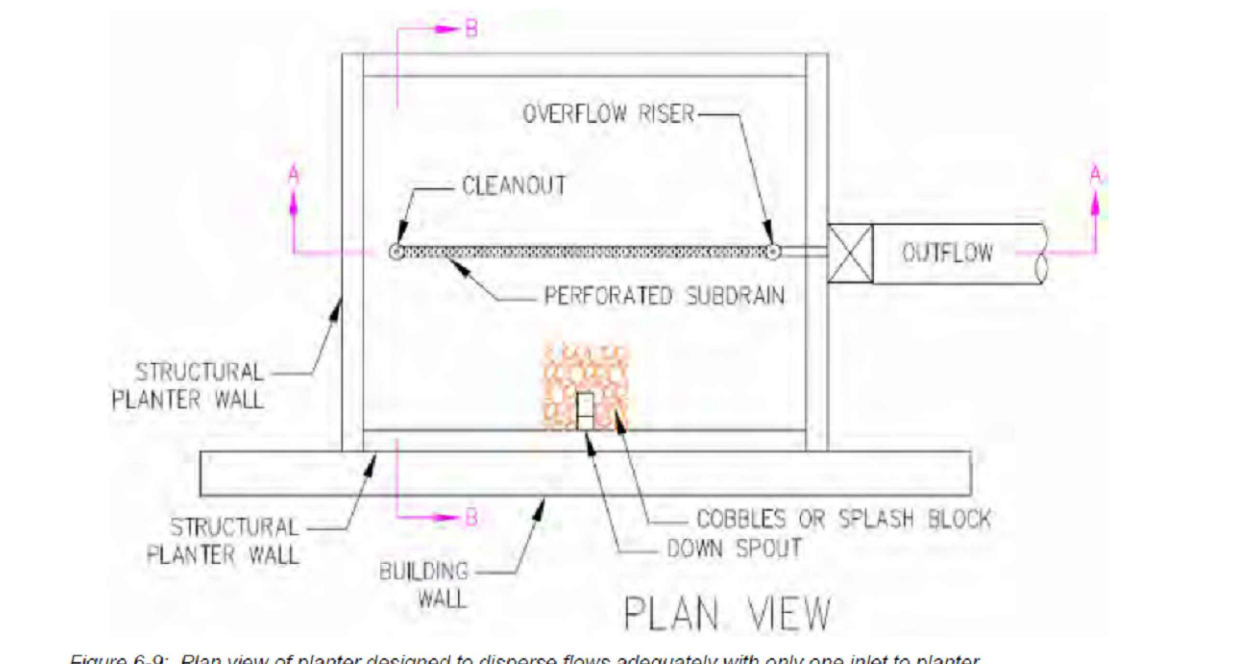
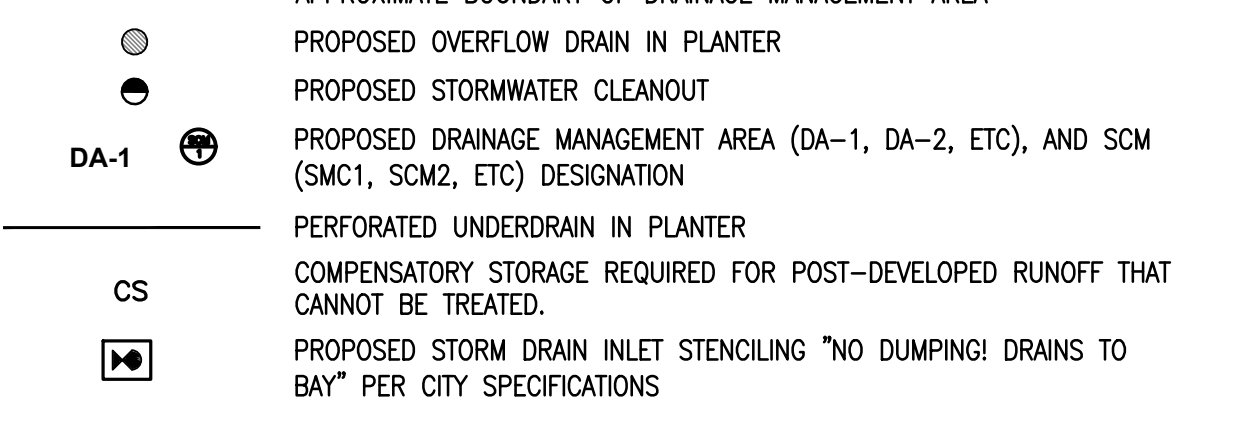


FIGURE 6-9: Plan view of planter designed to dissipate flows adequately with only one inlet to planter

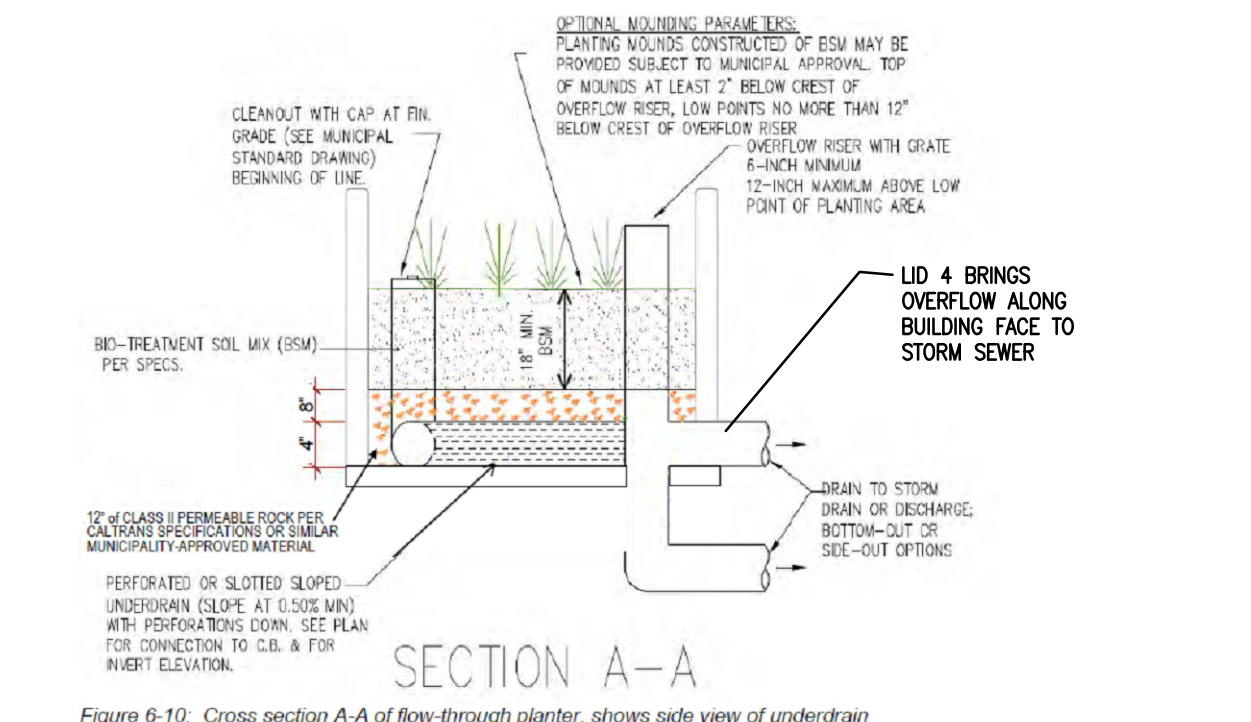
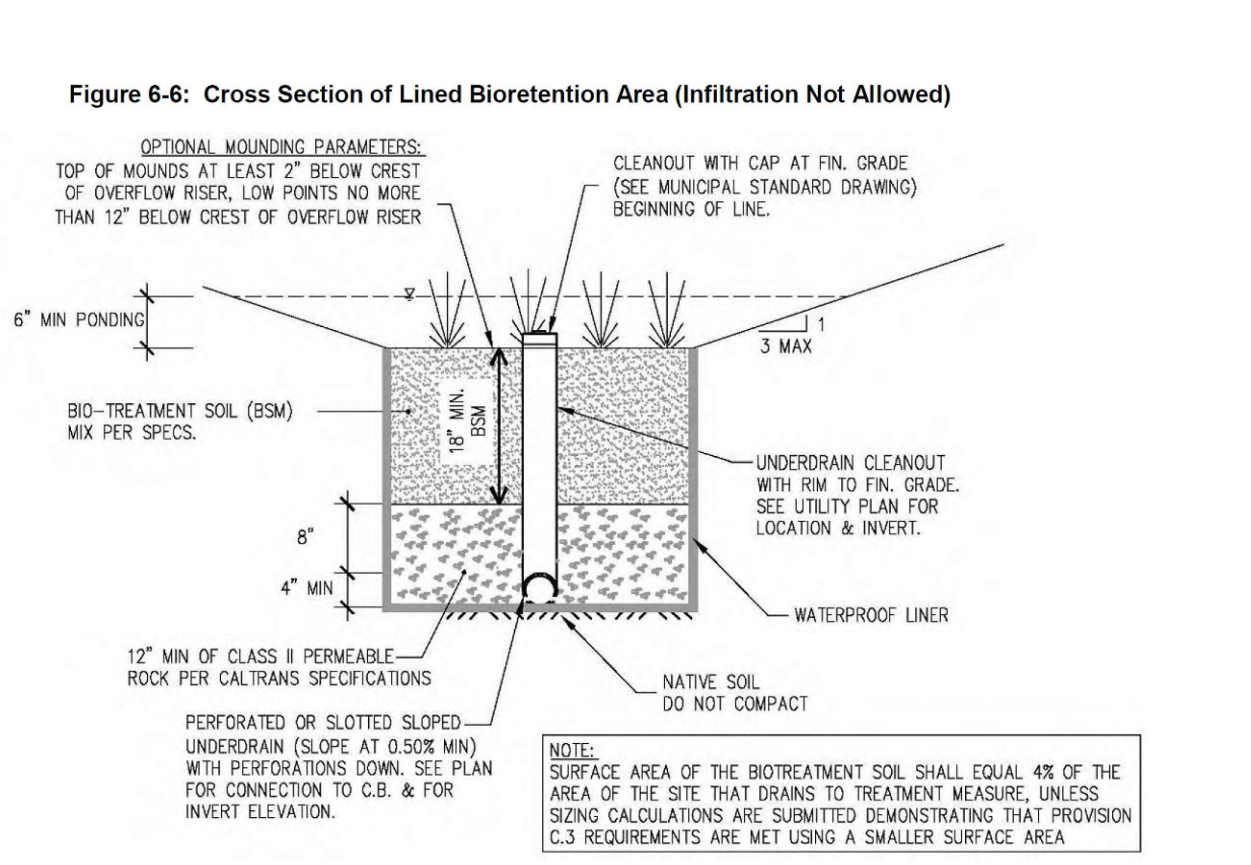


FIGURE 6-10: Cross section A-A of flow-through planter, shows side view of underdrain

LID-1: FLOW-THROUGH PLANTER (COUNTY STANDARD)



LID-2: LINED BIORETENTION BASIN (COUNTY STANDARD)



SOILS REPORT NOTE:

REFER TO THE SOIL STUDY BY ROMIG ENGINEERS, INC. TITLED, "GEO-TECHNICAL INVESTIGATION FOR MERCEDES-BENZ DEALERSHIP 1700 EMBARCADERO ROAD, PALO ALTO, CALIFORNIA 94303", DATED AUGUST, 2015, FOR ALL PROJECT SPECIFICATIONS, REQUIREMENTS, RECOMMENDATIONS AND PROCEDURES IN REGARDS TO PAVEMENT SECTIONS, PAD PREPARATION, SITE CLEARING REQUIREMENTS, OVEREXCAVATION, COMPACTION, SOIL REMEDIATION, ETC.

STORM WATER NOTES:

- PLANTER WALL FOR FLOW THROUGH PLANTERS SHALL BE 6"-WIDE CONCRETE - SEE DETAILS ON THIS SHEET. SEE LANDSCAPE PLANS FOR PLANT SELECTION.
- GROUNDWATER WAS ENCOUNTERED AS SHALLOW AS 7 FEET BELOW EXISTING GRADE, AS SUCH, UNDERDRAINS ARE OMITTED IN ALL AREAS EXCEPT FROM THE LID TYPES 1, 2 AND 3) AS TO AVOID DIRECTING GROUNDWATER TO THE CITY STORM SEWER SYSTEM.
- OVERFLOW FROM ALL OVERFLOW BMP'S SHALL BE CONVEYED TO THE PUBLIC RIGHT OF WAY VIA OVERLAND FLOW.

FLOW THROUGH PLANTER WITH TRAFFIC RATE GRATE SHALL HAVE A GRATE WITH RELATIVELY LARGE OPENINGS TO MAXIMIZE AIR FLOW, A MINIMUM OF 12" BETWEEN THE TOP OF THE SOIL AND THE GRATE, AND LOW GROWING, SHADE TOLERANT PLANTS SUCH AS CAREX TUMULOSA/DIVULSA OR CAREX PRAEGRACILIS.

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF PALO ALTO, CALIFORNIA, STATE OF CALIFORNIA TITLE 24 AND SANTA CLARA COUNTY STANDARDS AND SPECIFICATIONS.
- ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND CALTRANS STANDARDS, OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

WORK IN THE RIGHT OF WAY NOTE:

- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET OPENING PERMIT PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATED TO KEEP MATERIALS AND EQUIPMENT ONSITE OR WITHIN PRIVATE PROPERTY.

FLOOD ZONE NOTES:

- THE PROPOSED PROJECT IS A SUBSTANTIAL IMPROVEMENT AND SHALL COMPLY WITH PALO ALTO, CALIFORNIA, STATE OF CALIFORNIA TITLE 24 AND SANTA CLARA COUNTY STANDARDS AND SPECIFICATIONS.
- ASSESSOR'S PARCEL 008-03-065 IS LOCATED WITHIN FEMA'S SPECIAL FLOOD HAZARD AREA ZONE AE WHERE THE BASE FLOOD ELEVATION (BFE) WAS DETERMINED TO BE 10.5 AS SHOWN ON THE FIRM PANEL NUMBER 0608500300H DATED MAY 18, 2009.

SURVEY NOTES:

- TOPOGRAPHIC SURVEY PROVIDED BY AMS & ASSOCIATES, RECEIVED APRIL 11, 2017. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT EM607 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD. ELEVATION = 8.91 FEET, NAVD88 DATUM.
- BASIS OF BEARINGS: THE TIE BETWEEN FOUND MONUMENTS ON FABER PLACE, TAKEN AS SOUTH 37° 17' 44" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

UTILITY LOCATION NOTE:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF CITY OF PALO ALTO RECORDS, AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN HEREON. THE EXISTING 21" STORM DRAIN WAS POHOLED ON 3-30-16, AND ITS LOCATION AND DEPTH DETERMINED.

CONTRACTOR'S NOTE:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF CITY OF PALO ALTO RECORDS, AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN HEREON. THE EXISTING 21" STORM DRAIN WAS POHOLED ON 3-30-16, AND ITS LOCATION AND DEPTH DETERMINED.

CALL 811 OR 1-800-277-2600
BEFORE YOU DIG

WWW.USANORTH.ORG
CALL TWO WORKING DAYS BEFORE YOU DIG

ENGINEERS NOTE TO THE CONTRACTOR:
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

ysm DESIGN
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CALICHI DESIGN GROUP
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Rev	Date	Comments
1	05/07/18	ARB Submittal
Z1	07/26/18	ARB Resubmittal No.1
Z2	09/11/18	ARB Resubmittal No.2
Z3	10/10/18	ARB Resubmittal No.3
Z4	12/12/18	Planning Review
Z5	02/04/19	Planning Review
Z6	03/27/19	Planning Commission
Z7	04/26/19	Planning Commission
Z8	11/05/19	Planning Commission

Client:
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Project:
MERCEDES BENZ / AUDI of PALO ALTO

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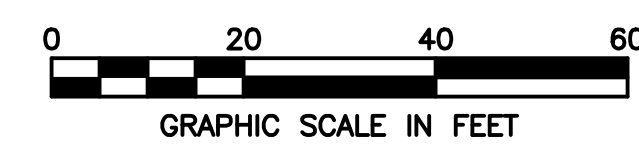
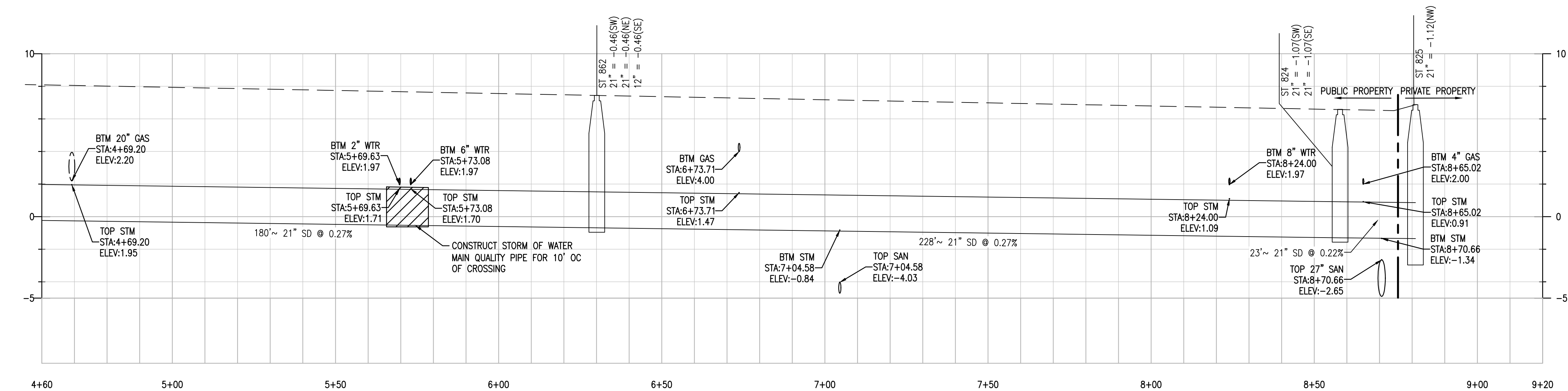
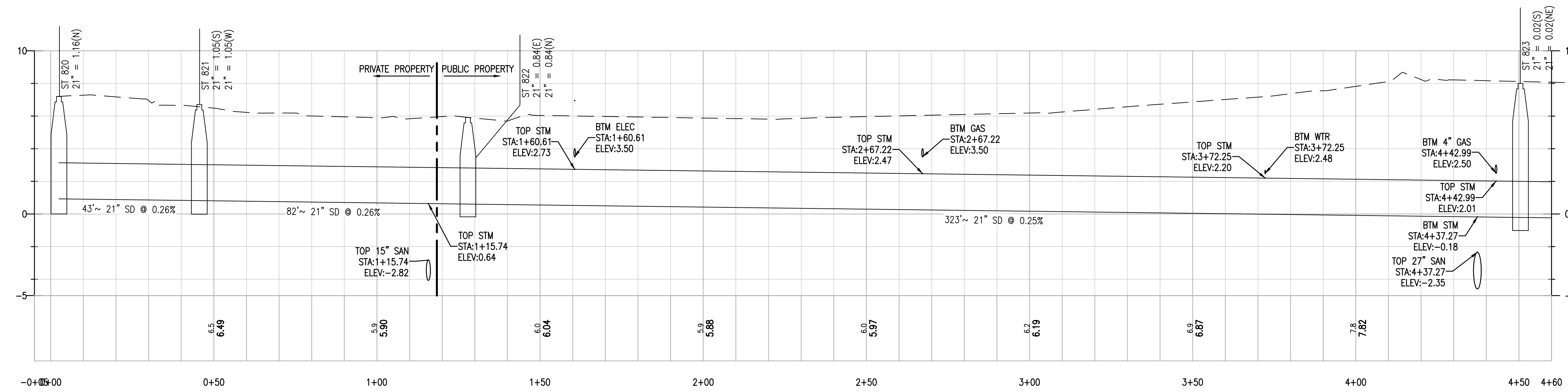
Project Number: 17019
Drawn By: AJH/MRJ
Checked By: RVP
Approved By: RVP

Sheet Title:
STORM WATER CONTROL PLAN (SWCP)

Sheet Number:
C04.00

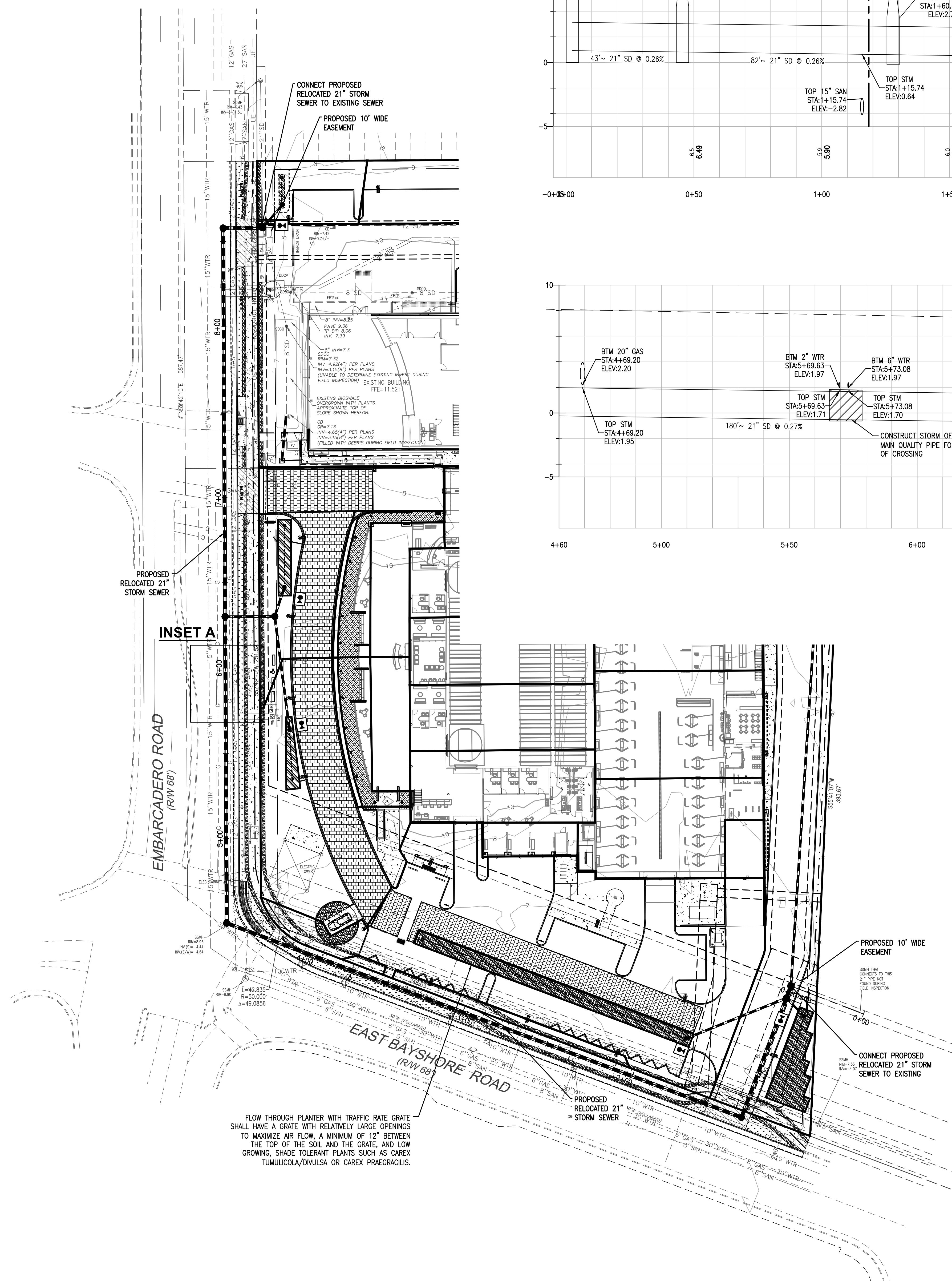
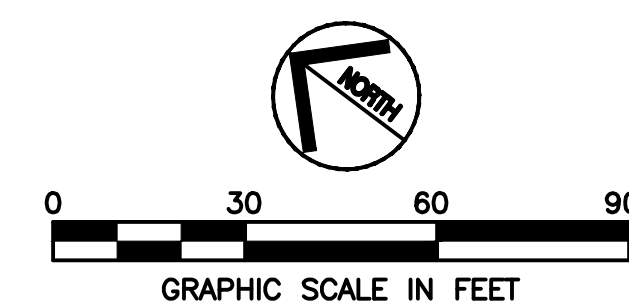
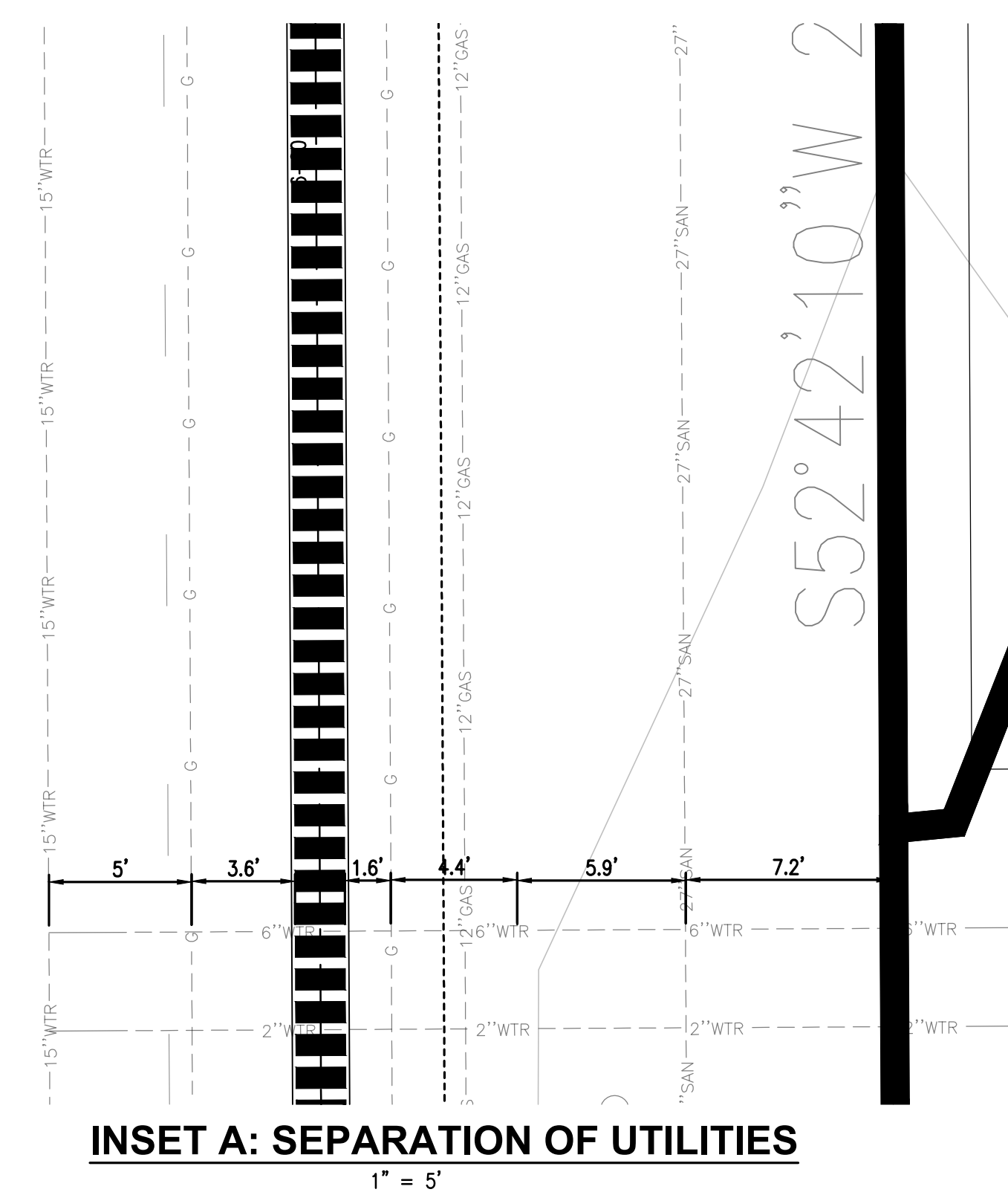


Rev	Date	Comments
1	05/07/18	ARB Submittal
Z1	07/26/18	ARB Resubmittal No.1
Z2	09/11/18	ARB Resubmittal No.2
Z3	10/10/18	ARB Resubmittal No.3
Z4	12/12/18	Planning Review
Z5	02/04/19	Planning Review
Z6	03/27/19	Planning Commission
Z7	04/26/19	Planning Commission



ASSUMED BURIED DEPTHS FOR EXISTING UTILITIES

GAS: PER 1959 RECORD DRAWINGS, 3.5' OTHERWISE
ELECTRIC: 3.5'
DATA: 3.5'
WATER: 3.5'
STORM: PER SURVEY
SANITARY: PER SURVEY



Client:
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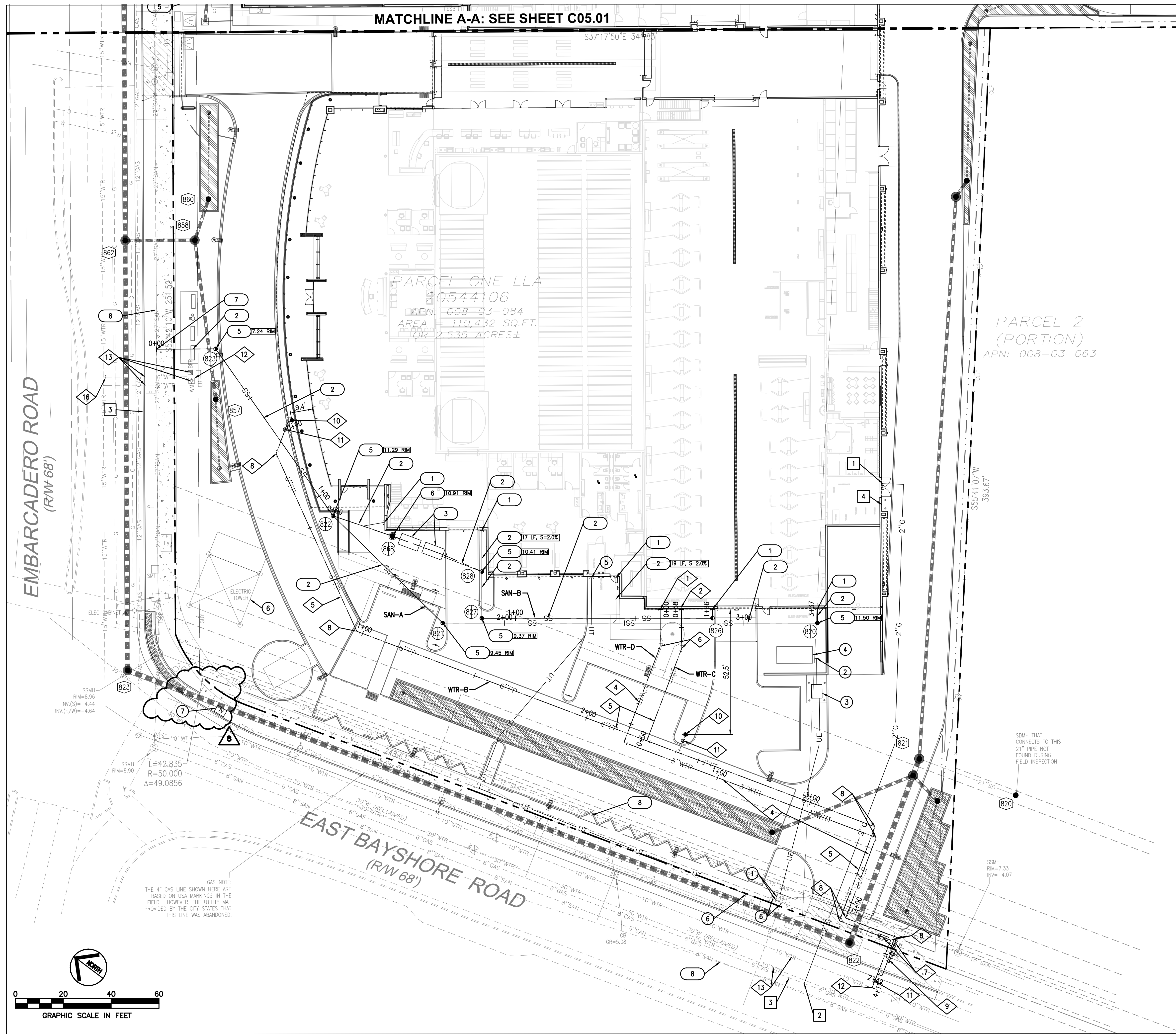
Project:
**MERCEDES
BENZ / AUDI
of PALO ALTO**

1730 Embarcadero Rd
Palo Alto, CA 94303

Project Number: 17019
Drawn By: AJH/MRJ
Checked By: RVP
Approved By: RVP

Sheet Title:
**RELOCATED STORM
SEWER PLAN AND
PROFILE**

Sheet Number:
C04.01



PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
9	1-FOOT CONTOUR	9
10	5-FOOT CONTOUR	10
WTR	WATER LINE	WTR
FP	FIRE PROTECTION WATER LINE	FP
SS	SANITARY SEWER LINE	SAN
SD	STORM DRAIN LINE	SD
OE	OVERHEAD ELECTRIC	OE
UE	UNDERGROUND ELECTRIC	UE
2"G	GAS LINE (INSTALLED BY CPAU FORCES)	G
X	FENCE	X
+	TREE	+
+	SIGN	+
+	FIRE HYDRANT	+
+	WATER METER/VALVE	+
+	WATER BACK FLOW PREVENTER	+
+	SEWER MANHOLE	+
+	CLEANOUT	+
+	STORM MANHOLE/INLET	+
+	GAS METER/VALVE	+
+	ELECTRIC BOX/WAULT/PEDESTAL/MANHOLE	+
+	ELECTRIC TRANSFORMER	+
+	TELEPHONE PEDESTAL/MANHOLE	+
+	LIGHT POLE, UTILITY POLE	+
+	LIGHT/TRAFFIC POLE	+

- ### WATER KEY NOTES
- CONNECT PROPOSED 3" DOMESTIC WATER SERVICE TO BUILDING SERVICE STUB. SEE PLUMBING PLANS FOR CONTINUATION.
 - CONNECT PROPOSED 6" FIRE WATER PROTECTION SERVICE TO BUILDING SERVICE STUB. FDC TO BE MOUNTED ON BUILDING WALL. SEE BUILDING PLUMBING AND FIRE PROTECTION PLANS FOR CONTINUATION.
 - NOT USED
 - PROPOSED 3" DOMESTIC WATER SERVICE LINE. PIPE BEDDING PER PALO ALTO STANDARD DRAWING WG-04.
 - PROPOSED 6" DEDICATED FIRE WATER SERVICE LINE. PIPE BEDDING PER PALO ALTO STANDARD DRAWING WG-04.
 - PROPOSED 2" RECYCLED WATER SERVICE LINE. PIPE BEDDING PER PALO ALTO STANDARD DRAWING WG-04.
 - PROPOSED DEDICATED FIRE REDUCED PRESSURE DETECTOR ASSEMBLY WITH DETECTOR METER AND COUPLINGS FURNISHED BY CITY PER PALO ALTO STANDARD DRAWING WD-17A. INSTALL COMMERCIAL BOLLARDS AS SHOWN PER PALO ALTO STANDARD DETAIL WG-05.
 - PROPOSED BEND. THRUST BLOCKS TO BE PROVIDED PER PALO ALTO STANDARD DETAIL WD-19.
 - PROPOSED WATER METER PER PALO ALTO STANDARD DRAWING WD-06.
 - PROPOSED FIRE HYDRANT. LOCATION TO BE APPROVED BY PALO ALTO FIRE DEPARTMENT.
 - PROPOSED GATE VALVE TO BE PROVIDED PER PALO ALTO STANDARD DETAIL WD-20.
 - PROPOSED CONNECTION TO EXISTING WATER MAIN.
 - CONTRACTOR TO PROTECT EXISTING WATER LINE/STRUCTURE TO REMAIN.
 - NOT USED
 - NOT USED
 - EXISTING FIRE LATERAL TO BE DISCONNECTED AND ABANDONED AT WATER MAIN PER WG STANDARDS.

- ### PRIVATE SANITARY SEWER KEY NOTES
- CONNECT SANITARY SEWER LATERAL TO BUILDING. SEE BUILDING PLUMBING PLANS FOR CONTINUATION. INVERT PER PLAN.
 - PROPOSED PVC-SDR 35 SANITARY SEWER SERVICE PIPE. SIZE, LENGTH AND SLOPE PER PLAN.
 - PROPOSED RECLAIM TANK. SEE BUILDING PLUMBING PLANS FOR DETAILS. RIM AND INVERT PER PLAN.
 - NOT USED
 - PROPOSED 4" TWO-WAY SANITARY SEWER CLEANOUT PER PALO ALTO STANDARD DRAWING WWD-02. TRAFFIC RATED CLEANOUT BOX PER PALO ALTO STANDARD DRAWING WWD-04. RIM AND INVERT PER PLAN.
 - PROPOSED 48" SANITARY SEWER MANHOLE PER PALO ALTO STANDARD DETAIL WWD-09. FRAME AND COVER PER PALO ALTO STANDARD DRAWING WWD-12.
 - CONNECT PROPOSED HDPE, SDR 17 SANITARY SEWER TO EXISTING 27" MAIN PER PALO ALTO STANDARD DRAWING WWD-05 AND WWD-06. RIM AND INVERT PER PLAN.
 - EXISTING SANITARY SEWER/STRUCTURE TO REMAIN. SIZE PER PLAN. LOCATION PER RECORDS, NOT FIELD VERIFIED. GENERAL CONTRACTOR TO CONFIRM DEPTH SIZE AND LOCATION - PROTECT IN PLACE.

- ### DRY UTILITY KEY NOTES
- PROPOSED CONNECTION POINT OF PROPOSED PRIMARY UNDERGROUND ELECTRICAL CONDUITS TO EXISTING UTILITY POLE. COORDINATE ROUTING AND POINT OF CONNECTION WITH SCE PRIOR TO CONSTRUCTION.
 - PROPOSED SECONDARY ELECTRICAL SERVICE CONDUITS FROM TRANSFORMER TO BUILDING. SEE ONSITE ELECTRICAL PLANS AND ELECTRICAL PROVIDER PLANS FOR NUMBER OF CONDUITS, SIZE OF CONDUITS AND ROUTING DETAILS.
 - PROPOSED PRIVATE TRANSFORMER OR 1600 AMP SERVICE. SEE MEP PLANS.
 - PROPOSED PRIVATE GENERATOR. SEE MEP PLANS.
 - PROPOSED DATA AND TELEPHONE PVC SERVICE CONDUITS TO BUILDING. SEE ONSITE ELECTRICAL PLANS AND DATA PROVIDER PLANS FOR NUMBER OF CONDUITS, SIZE OF CONDUITS AND ROUTING DETAILS. SEE BUILDING ELECTRICAL PLANS FOR CONTINUATION.
 - ASSUMED CONNECTION POINT OF PROPOSED UNDERGROUND DATA AND TELEPHONE CONDUITS TO EXISTING UNDERGROUND VAULT. COORDINATE ROUTING AND POINT OF CONNECTION WITH DATA AND TELEPHONE SERVICE PROVIDER PRIOR TO CONSTRUCTION.
 - RELOCATED TELECOMM VAULT

- ### GAS SERVICE KEY NOTES
- CONNECT PROPOSED 2" GAS SERVICE TO BUILDING. SEE ARCHITECTURAL AND PLUMBING PLANS FOR CONTINUATION. METER TO BE LOCATED PER PALO ALTO STANDARD DRAWING GD-01.
 - CONNECT PROPOSED 2" GAS SERVICE TO EXISTING GAS MAIN PER PALO ALTO STANDARD DRAWING GD-01.
 - CONTRACTOR TO PROTECT EXISTING GAS LINE TO REMAIN.
 - PROPOSED GAS METER

SANITARY STRUCTURE TABLE		
STRUCTURE ID	RIM	INVERT
820	11.50	4" = -1.00 (NE) 4" = -1.00 (NW)
821	9.45	4" = -2.50 (SE) 4" = -2.50 (N)
822	11.29	4" = -3.00 (S) 6" = -3.00 (N) 4" = -3.00 (S)
823	7.24	6" = -3.75 (S) 6" = -3.75 (NW)
826	11.50	4" = -1.00 (NE) 4" = -1.00 (NW)
827	9.37	4" = -2.00 (SE) 4" = -2.00 (NE)
828	10.41	4" = -2.25 (SW) 4" = -2.25 (N)
868	10.91	4" = -2.70 (N) 4" = -2.70 (S)

SOILS REPORT NOTE:

REFER TO THE SOIL STUDY BY ROMIG ENGINEERS, INC. TITLED, "GEOTECHNICAL INVESTIGATION FOR MERCEDES-BENZ DEALERSHIP 1700 EMBARCADERO ROAD, PALO ALTO, CALIFORNIA 94303", DATED AUGUST, 2015, FOR ALL PROJECT SPECIFICATIONS, REQUIREMENTS, RECOMMENDATIONS AND PROCEDURES IN REGARDS TO PAVEMENT SECTIONS, PAD PREPARATION, SITE CLEARING REQUIREMENTS, OVEREXCAVATION, COMPACTION, SOIL REMEDIATION, ETC.

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF PALO ALTO, CALIFORNIA, STATE OF CALIFORNIA TITLE 24 AND SANTA CLARA COUNTY STANDARDS AND SPECIFICATIONS.
- ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND CALTRANS STANDARDS, OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

WORK IN THE RIGHT OF WAY NOTE:

- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET OPENING PERMIT PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ASSURANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATED TO KEEP MATERIALS AND EQUIPMENT ONSITE OR WITHIN PRIVATE PROPERTY.

FLOOD ZONE NOTES:

- THE PROPOSED PROJECT IS A SUBSTANTIAL IMPROVEMENT AND SHALL COMPLY WITH PALO ALTO MUNICIPAL CODE CHAPTER 16.52 FLOOD HAZARD REGULATIONS AND FEMA'S REQUIREMENTS.
- ASSESSOR'S PARCEL 008-03-065 IS LOCATED WITHIN FEMA'S SPECIAL FLOOD HAZARD AREA ZONE AE WHERE THE BASE FLOOD ELEVATION (BFE) WAS DETERMINED TO BE 10.5 AS SHOWN ON THE FIRM PANEL NUMBER 06085003004 DATED MAY 18, 2009.

SURVEY NOTES:

- TOPOGRAPHIC SURVEY PROVIDED BY AMS & ASSOCIATES, RECEIVED APRIL 11, 2017. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT EM607 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD.
- BASEIS OF BEARINGS: THE TIE BETWEEN FOUND MONUMENTS ON FABER PLACE, TAKEN AS SOUTH 37° 17' 44" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

UTILITY LOCATION NOTE:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF CITY OF PALO ALTO RECORDS, AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN HEREON. THE EXISTING 21" STORM DRAIN WAS POTHOLED ON 3-30-16, AND ITS LOCATION AND DEPTH DETERMINED.

UTILITY NOTES:

- SEE SHEET C04.00 FOR ADDITIONAL STORM DRAIN UTILITY DESIGN INFORMATION. EXISTING OFF-SITE UTILITY LOCATIONS ARE APPROXIMATE AND BASED ON RECORD DRAWINGS OR AS-BUILT INFORMATION.
- LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES HAVE NOT BEEN SURVEYED AND ARE SHOWN BASED ON LOCATIONS OF EXISTING VISIBLE UTILITY STRUCTURES SURVEYED IN THE FIELD. EXACT LOCATIONS OF ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
- SEE PLANS BY EACH UTILITY COMPANY SERVICE PROVIDER AND ELECTRICAL PLANS FOR DETAILS.
- UNLESS NOTED OTHERWISE, ALL RAIN WATER LEADERS TO SPLASH ONTO PAVED SURFACES. IF RAINWATER LEADER TERMINATES IN A LANDSCAPE AREA, CONTRACTOR TO INSTALL SPLASH BLOCK OR APPROVED EQUIVALENT.
- JOINT TRENCH: ELECTRICAL, DATA, AND GAS ARE SHOWN FOR REFERENCE ONLY. UNLESS NOTED OTHERWISE, ALL RAIN WATER LEADERS TO SPLASH ONTO PAVED SURFACES. IF RAINWATER LEADER TERMINATES IN A LANDSCAPE AREA, CONTRACTOR TO INSTALL SPLASH BLOCK OR APPROVED EQUIVALENT.
- PROPOSED SANITARY SEWER LATERAL PIPES TO MEET MINIMUM SLOPE STANDARDS:
4"SS SLOPE = 2.0% MIN.
6"SS SLOPE = 1.1% MIN.
8"SS SLOPE = 0.77% MIN.

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ENGINEERS NOTE TO THE CONTRACTOR:
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

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Rev	Date	Comments
1	05/07/18	ARB Submittal
Z1	07/26/18	ARB Resubmittal No.1
Z2	09/11/18	ARB Resubmittal No.2
Z3	10/10/18	ARB Resubmittal No.3
Z4	12/12/18	Planning Review
Z5	02/04/19	Planning Review
Z6	03/27/19	Planning Commission
Z7	04/26/19	Planning Commission
Z8	11/05/19	Planning Commission

Client:
Holman Automotive

1730 Embarcadero Rd
Palo Alto, CA 94303

Project:
MERCEDES BENZ / AUDI of PALO ALTO

1730 Embarcadero Rd
Palo Alto, CA 94303

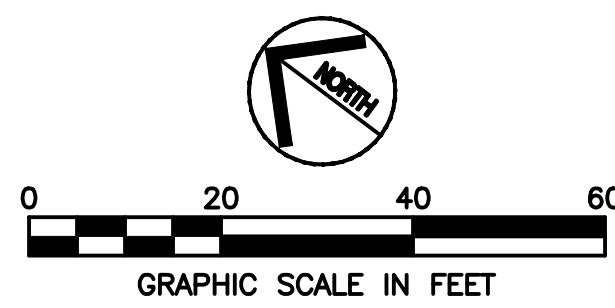
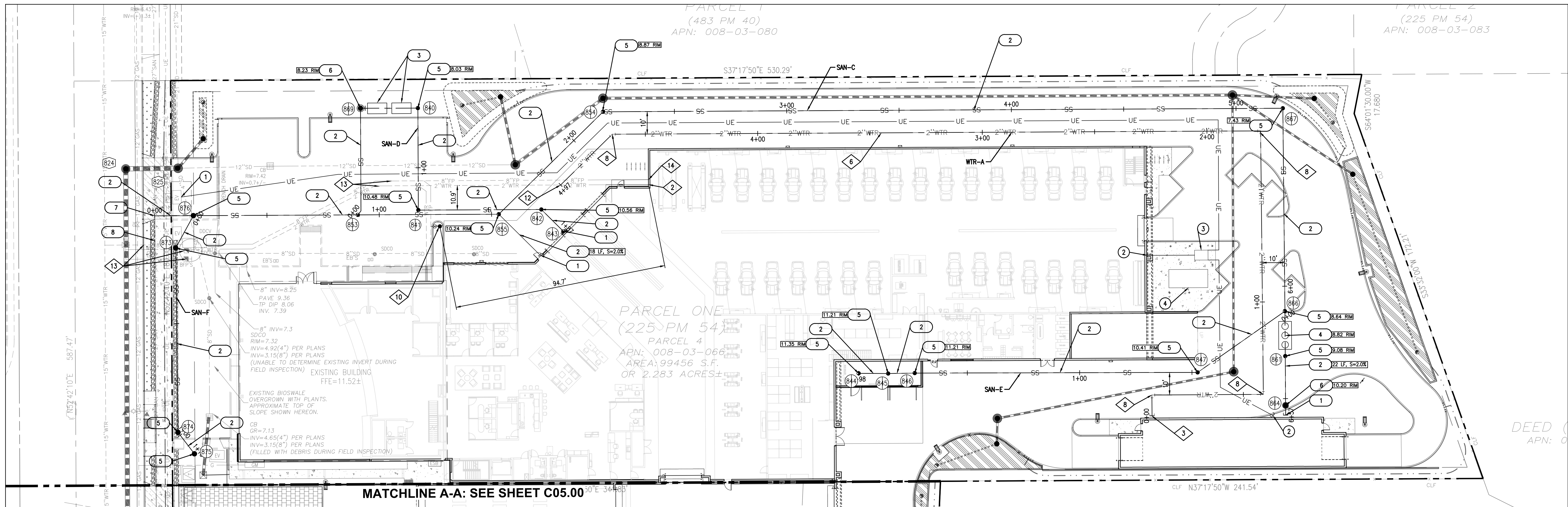
Project Number: 17019
Drawn By: AJH/MRJ
Checked By: RVP
Approved By: RVP

Sheet Title:
ON-SITE PRIVATE UTILITY PLAN

Sheet Number:
C05.00

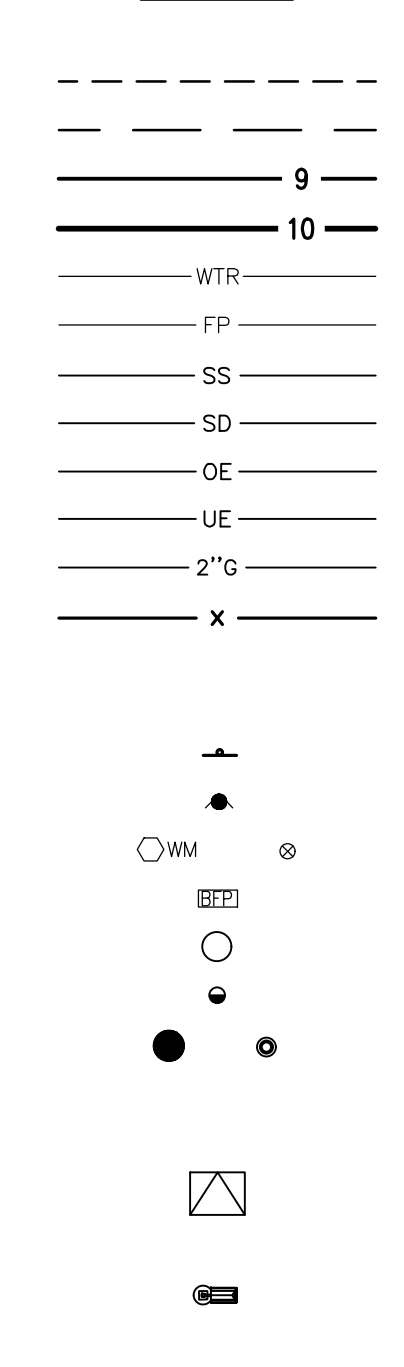


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Z2	09/11/18	ARB Resubmittal No. 2
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Z5	02/04/19	Planning Review
Z6	03/27/19	Planning Commission
Z7	04/26/19	Planning Commission
Z8	11/05/19	Planning Commission

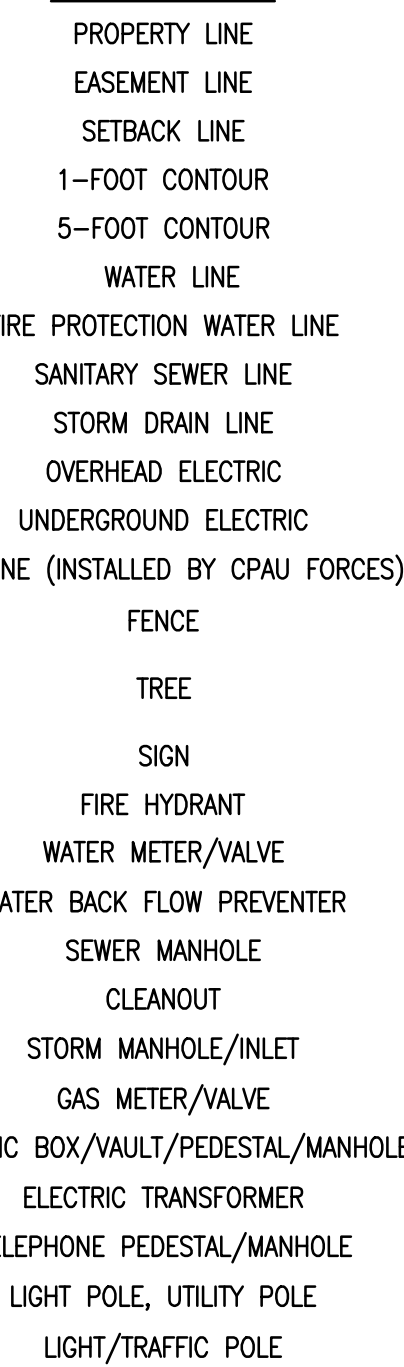


MATCHLINE A-A: SEE SHEET C05.00

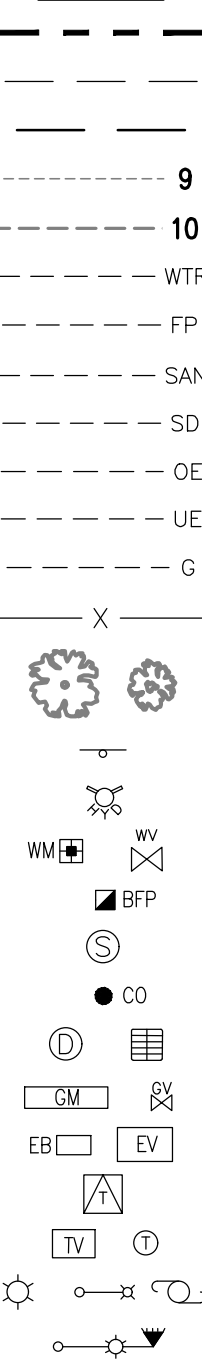
PROPOSED



LEGEND



EXISTING



WATER KEY NOTES

- 1 NOT USED
- 2 CONNECT PROPOSED 6" FIRE WATER PROTECTION SERVICE TO BUILDING SERVICE STUB. FDC TO BE MOUNTED ON BUILDING WALL. SEE BUILDING PLUMBING AND FIRE PROTECTION PLANS FOR CONTINUATION.
- 3 CONNECT PROPOSED 2" RECYCLED WATER SERVICE TO CAR WASH STUB. BFP LOCATED INSIDE OF BUILDING. SEE CAR WASH PLUMBING PLANS FOR CONTINUATION.
- 4 NOT USED
- 5 NOT USED
- 6 PROPOSED 2" RECYCLED WATER SERVICE LINE. PIPE BEDDING PER PALO ALTO STANDARD DRAWING WGW-04.
- 7 NOT USED
- 8 PROPOSED BEND. THRUST BLOCKS TO BE PROVIDED PER PALO ALTO STANDARD DETAIL WD-19.
- 9 NOT USED
- 10 NOT USED
- 11 NOT USED
- 12 PROPOSED CONNECTION TO EXISTING WATER MAIN.
- 13 CONTRACTOR TO PROTECT EXISTING WATER LINE/STRUCTURE TO REMAIN.
- 14 CONNECT PROPOSED DOMESTIC WATER SERVICE FROM EXISTING WATER LINE TO BUILDING SERVICE STUB. SEE PLUMBING PLANS FOR CONTINUATION.
- 15 NOT USED
- 16 NOT USED

PRIVATE SANITARY SEWER KEY NOTES

- 1 CONNECT SANITARY SEWER LATERAL TO BUILDING. SEE BUILDING PLUMBING PLANS FOR CONTINUATION. INVERT PER PLAN.
- 2 PROPOSED PVC-SDR 35 SANITARY SEWER SERVICE PIPE. SIZE, LENGTH AND SLOPE PER PLAN.
- 3 PROPOSED RECLAIM TANK. SEE BUILDING PLUMBING PLANS FOR DETAILS. RIM AND INVERT PER PLAN.
- 4 PROPOSED OIL/SAND SEPARATION UNIT. SEE BUILDING PLUMBING PLANS FOR DETAILS. RIM AND INVERT PER PLAN.
- 5 PROPOSED 4" TWO-WAY SANITARY SEWER CLEANOUT PER PALO ALTO STANDARD DRAWING WWD-02. TRAFFIC RATED CLEANOUT BOX PER PALO ALTO STANDARD DRAWING WWD-04. RIM AND INVERT PER PLAN.
- 6 NOT USED
- 7 CONNECT PROPOSED HOPE, SDR 17 SANITARY SEWER TO EXISTING 27" MAIN PER PALO ALTO STANDARD DRAWING WWD-05 AND WWD-06. RIM AND INVERT PER PLAN.
- 8 EXISTING SANITARY SEWER/STRUCTURE TO REMAIN. SIZE PER PLAN. LOCATION PER RECORDS. NOT FIELD VERIFIED. GENERAL CONTRACTOR TO CONFIRM DEPTH SIZE AND LOCATION - PROTECT IN PLACE.

DRY UTILITY KEY NOTES

- 1 PROPOSED CONNECTION POINT OF PROPOSED PRIMARY UNDERGROUND ELECTRICAL CONDUITS TO EXISTING UTILITY POLE. COORDINATE ROUTING AND POINT OF CONNECTION WITH SEE PRIOR TO CONSTRUCTION.
- 2 PROPOSED SECONDARY ELECTRICAL SERVICE CONDUITS FROM TRANSFORMER TO BUILDING. SEE ON-SITE ELECTRICAL PLANS AND ELECTRIC PROVIDER PLANS FOR NUMBER OF CONDUITS, SIZE OF CONDUITS AND ROUTING DETAILS.
- 3 PROPOSED PRIVATE TRANSFORMER OR 1600 AMP SERVICE. SEE MEP PLANS.
- 4 PROPOSED PRIVATE GENERATOR. SEE MEP PLANS.
- 5 NOT USED
- 6 NOT USED
- 7 NOT USED

SANITARY STRUCTURE TABLE

STRUCTURE ID	RIM	INVERT
840	8.03	4" = -2.50 (NW) 4" = -2.50 (SW)
841	10.48	4" = -1.50 (NE) 4" = -1.50 (SE)
842	10.58	4" = -0.50 (NW) 4" = -0.50 (S)
843	11.39	4" = 0.00 (N)
844	11.35	4" = 2.40 (SE)
845	11.21	4" = 2.20 (NW) 4" = 2.20 (SE)
846	11.21	4" = 2.00 (NW) 4" = 2.00 (SE)
847	10.41	4" = 0.50 (NW) 4" = 0.50 (E)
853	10.65	6" = -3.50 (NW) 4" = -3.50 (E) 4" = -3.50 (SE)
854	8.88	4" = -2.50 (SE) 4" = -2.50 (W)
855	10.24	4" = -3.00 (E) 4" = -3.00 (NW)
861	9.08	4" = -0.04 (NE) 4" = -0.04 (SW)
864	10.20	4" = 0.10 (NE) 4" = 0.10 (SW)
866	8.64	4" = 0.00 (W) 4" = -0.17 (NE) 4" = -0.17 (SW)
867	7.43	4" = -0.75 (SW) 4" = -0.75 (NW)
869	8.22	4" = -3.00 (SE) 4" = -3.00 (SW)
873	7.07	6" = -3.80 (E) 6" = -3.80 (SW)
874	7.18	6" = -3.00 (NE) 6" = -3.00 (S)
875	7.55	6" = -2.50 (N)
876	7.61	6" = -3.90 (W) 6" = -3.90 (NW)

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2. CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATED TO KEEP MATERIALS AND EQUIPMENT ON-SITE OR WITHIN PRIVATE PROPERTY.

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1. THE PROPOSED PROJECT IS A SUBSTANTIAL IMPROVEMENT AND SHALL COMPLY WITH PALO ALTO MUNICIPAL CODE CHAPTER 16.52 FLOOD HAZARD REGULATIONS AND FEMA'S REQUIREMENTS.
2. ASSESSOR'S PARCEL 008-03-065 IS LOCATED WITHIN FEMA'S SPECIAL FLOOD HAZARD AREA ZONE AE WHERE THE BASE FLOOD ELEVATION (BFE) WAS DETERMINED TO BE 10.5 AS SHOWN ON THE FIRM PANEL NUMBER 06805500304 DATED MAY 18, 2009.

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2. BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT EMB607 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD.
3. BASIS OF BEARINGS: THE TIE BETWEEN FOUND MONUMENTS ON FABER PLACE, TAKEN AS SOUTH 37° 17' 44" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

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UTILITY NOTES:

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2. LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES HAVE NOT BEEN SURVEYED AND ARE SHOWN BASED ON LOCATIONS OF EXISTING VISIBLE UTILITY STRUCTURES SURVEYED IN THE FIELD. EXACT LOCATIONS OF ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
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4. JOINT TRENCH: ELECTRICAL, DATA, AND GAS ARE SHOWN FOR REFERENCE ONLY. SEE PLANS BY EACH UTILITY COMPANY SERVICE PROVIDER AND ELECTRICAL PLANS FOR DETAILS.
5. PROPOSED SANITARY SEWER LATERAL PIPES TO MEET MINIMUM SLOPE STANDARDS:
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8"SS SLOPE = 0.77% MIN.



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Client:
Holman Automotive

1730 Embarcadero Rd
Palo Alto, CA 94303

Project:
**MERCEDES
BENZ / AUDI
of PALO ALTO**

1730 Embarcadero Rd
Palo Alto, CA 94303

Project Number: 17019
Drawn By: AJH/MRJ
Checked By: RVP
Approved By: RVP

Sheet Title:
**ON-SITE PRIVATE
UTILITY PLAN**

Sheet Number:
C05.01